

VILLAGE OF RADIUM HOT SPRINGS

AGENDA

REGULAR COUNCIL MEETING OF NOVEMBER 25TH, 2020.

Note: Council Meeting will be held ‘in person’ at the Radium Hot Springs Centre, 4863 Stanley Street at 7:30 p.m. Virtual attendance via ‘zoom meeting’ is optional with meeting details as follows:

Join Zoom Meeting
<https://us02web.zoom.us/>

Meeting ID: 882 123 4110
Passcode: Radium

PRESENT:

1. ORDER:

2. ADDITIONS TO AGENDA:

3. MINUTES:

- (a) Council meeting minutes from October 28th, 2020.

4. DELEGATIONS:

5. COMMITTEE REPORTS:

6. UNFINISHED BUSINESS / BUSINESS ARISING FROM THE MINUTES:

7. BYLAWS:

- (a) Business Licensing Amendment Bylaw No. 461, 2020.

8. MISCELLANEOUS CORRESPONDENCE & REPORTS:

- (a) Letter from Assistant Deputy Minister Salman Azam.

9. NEW BUSINESS:

- (a) Development Permit No. 159 – “Radium Escape”.
- (b) Covid 19 Safe Restart Grant.
- (c) October cheque register in the amount of \$641,023.92.

VILLAGE OF RADIUM HOT SPRINGS

Council Agenda for November 25th, 2020 continued...

10. SUNDRY MATTERS & QUESTIONS:

11. NOTICE OF COMMITTEE, SPECIAL & CLOSED MEETINGS:

- (a) Resolution to go 'in camera' to discuss the proposed provision of a municipal service under Section 90 of the *Community Charter*.

12. ADJOURNMENT:

VILLAGE OF RADIUM HOT SPRINGS**REGULAR COUNCIL MEETING MINUTES FROM OCTOBER 28TH, 2020.**

PRESENT: Mayor Clara Reinhardt, Councillors McCauley, Shudra, and Logan, Councillor Gray (via zoom), Wally Hann, Chris Dunn, Stan Perry, Karen Sharp, Dave Dixon, Jill Logan, Camille Aubin and Mark Read.

1. ORDER: Mayor Reinhardt brought the meeting to order at 7:29 p.m.

2. ADDITIONS TO AGENDA:

Resolved, that we add delegate Wally Hann to the agenda to discuss wild turkey issues.
(Moved by Councillor Logan) Carried.

3. MINUTES:

Resolved, that we approve the Council meeting minutes from October 14th, 2020, as circulated.
(Moved by Councillor Gray) Carried.

4. DELEGATIONS:

Wally Hann provided an overview of the roosting wild turkey issues that he has been dealing with, primarily the volume of excrement that accumulates on his property and buildings. Wally asked if the Village can assist with the problem.

Mayor Reinhardt advised that, although the Province has not accepted responsibility for the animals because they are considered an invasive species, the Province will not allow translocation of the birds to other areas. Clara provided an overview of our community survey results, and noted that an advisory committee was formed to provide recommendations. After review and consideration, the committee identified that a cull was the only remaining option available to control the population. The committee was unwilling to recommend a cull.

5. COMMITTEE REPORTS:

Mayor Reinhardt noted her involvement in an initiative to renew the Visitor Information Centre. Councillor Gray provided a library services update.

6. BYLAWS:

Resolved, that we reconsider and adopt Tax Exemption (Church Properties) Bylaw No. 461, 2020.
(Moved by Councillor McCauley) Carried. (Councillor Gray opposed).

VILLAGE OF RADIUM HOT SPRINGS

Regular Council Meeting Minutes from October 28th, 2020 continued...

7. MISCELLANEOUS CORRESPONDENCE & REPORTS:

Fire Chief Dave Dixon provided the 2020 department activity report and responded to questions.

Resolved, that we partner with the RDEK, which will be the primary applicant, to apply for, receive and manage the Community Emergency Preparedness Fund Evacuation Route Planning Grant, on behalf of the Village of Radium Hot Springs, in the amount of \$25,000.

(Moved by Councillor McCauley)

8. NEW BUSINESS:

Council confirmed that they have no objection to the Provincial Health Officer's request for use of Village facilities, as required, for covid 19 support services.

Resolved, that we cancel the 2020 Village New Year's Eve 'birthday party' event.

(Moved by Councillor Logan) Carried.

9. SUNDRY MATTERS & QUESTIONS:

Mayor Reinhardt noted that the new Sinclair Canyon interpretive displays have been installed. The Village has assumed ownership of the display erected upon our "Mountains shall bring Peace" parkland.

10. ADJOURNMENT:

The meeting adjourned at 8:07 p.m.

HEREBY CERTIFIED CORRECT:

Mayor Clara Reinhardt

Clerk Mark Read

VILLAGE OF RADIUM HOT SPRINGS
BUSINESS LICENSING AMENDMENT BYLAW NO. 461, 2020.

WHEREAS, Division 9 of the *Community Charter*, as amended from time to time, authorizes Council to regulate business within the municipality, and;

WHEREAS Council has decided to amend the business licensing period to align with the January to December fiscal period.

NOW THEREFORE, Council for the Village of Radium Hot Springs, in open meeting assembled, enacts as follows;

1. This Bylaw may be cited as “Business Licensing Amendment Bylaw No. 461, 2020”.
2. Business License Regulation Bylaw No. 244, 2001, is hereby amended by the deletion, in its entirety, of Section 2.08 (1), and with its replacement with the following wording:
“Except as this Section provides, Business Licenses shall be granted for a one year period, to commence on the first day of January and to terminate on December 31st, in each and every year. The License Fee prescribed in this Bylaw shall be reduced by one half, in respect of a person or business who becomes liable to be licensed, for a new business, after June 30th in any year. No License Fee paid hereunder shall be refundable.”
3. This Bylaw is effective, in force, and binding on all persons as from the day following the date of its adoption.

Read a first, second and third time this ____ day of _____, 2020.

Reconsidered and adopted this ____ day of _____, 2020.

Mayor

Clerk

Hereby certified as a true copy of Business Licensing Amendment Bylaw No. 461, 2020.

Date



November 9, 2020

Ref: 40875

✓ Her Worship Mayor Clara Reinhardt
Councillor Mike Gray
Village of Radium Hot Springs
PO Box 340
Radium Hot Springs, BC V0A 1M0

Dear Mayor Reinhardt and Councillor Gray:

Thank you to your delegation for meeting with the Ministry of Tourism, Arts and Culture (Ministry) during this year's virtual Union of British Columbia Municipalities (UBCM) Annual Convention.

Due to the evolving COVID-19 pandemic, we have had to develop new approaches and adaptations to many aspects of our everyday life. I thank your delegation for its flexibility with provincial appointments this year and I am pleased that our governments still had the chance to connect.

As Assistant Deputy Minister, I appreciated the opportunity to discuss the topics you raised during your conference call including the effects of provincial tourism marketing messages on Radium and the Kootenays. The Ministry recognizes the important role tourism plays in every region and community in this province and looks forward to helping the tourism sector rebuild as part of a resilient economy in B.C.

As discussed, you may wish to connect with Kathy Cooper, CEO of Kootenay Rockies Tourism, to discuss regional tourism marketing. She can be reached by telephone at: 250 427-4838 or by email at: kathy@kootenayrockies.com.

All topics brought up in our meeting will be shared with the incoming Minister.

Should you have any specific questions, please contact, Amber Mattock, Senior Director, Tourism Branch, by telephone at: 778 698-1699 or by email at: Amber.Mattock@gov.bc.ca.

.../2

Ministry of Tourism,
Arts and Culture

Tourism Sector Strategy
Division

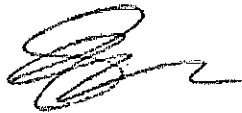
Mailing Address:
PO Box 9812 Stn Prov Govt
Victoria BC V8W 9W1
Telephone: (778) 974-2923

Location Address:
3rd Floor – 1803 Douglas Street
Victoria BC V8T 9W1
www.gov.bc.ca

Her Worship Mayor Clara Reinhardt
Councillor Mike Gray
Page 2

Thank you again to your delegation for the meeting.

Sincerely,



Salman Azam
Assistant Deputy Minister

Administrative memo to Council

November 19, 2020

Development Permit #159 Radium Escape

This DP is for the construction of a 4 unit rowhouse located at the corner of Pioneer Ave and Stanley St directly across from the Radium Hot Springs Centre.

This development is being proposed for use as a Short Term Rental property. Each unit has three storeys above ground with a total of 5 bedrooms and an undeveloped basement. Proposed occupancy levels are up to 14 people per unit. This level of occupancy could result in a total of 56 people being resident in this development at any given time.

The proponent has requested a variance to the Zoning Bylaw to permit the construction of a third storey in a rowhouse type of structure. Currently the Zoning Bylaw only permits two storey rowhouses with a maximum height of 9m (29.5 ft). The three storey rowhouse, as presented, has a maximum height of 9m which meets the Zoning Bylaw.

There are several concerns with this proposal which are set out below:

- **Parking** Although the parking provided in the proposal exceeds the zoning bylaw's requirement of 1.5 parking stalls per unit, with occupancy levels potentially reaching 14 people per unit, parking on-site will not be adequate for the use. As noted on the site plan there is trailer parking shown for sea doos, or ATVs. It should be noted that this parking is not located on the property, but in the road allowance behind the sidewalk.
- **Noise issues** With occupancy levels of up to 14 people per unit there is a high probability for noise levels to become an issue from the back yards and the outdoor decks on the third floor. The proponent has committed to installing a Noise Aware monitoring system which would be monitored by a security firm.
- **Interconnecting decks and back yards** In the proposal, the two centre units have an interconnection on the third floor outside decks. This could greatly increase the potential for noise issues from this property. As well, all backyards are proposed to be interconnected which will lead to potential noise issues.
- **Building mass and shading** The building being proposed is a very large structure occupying most of the 50' x 120' lot. This building will cause extensive shading to the property next door.

Attached to this memo is detailed descriptive information provided by the proponent outlining responses to the above concerns.

Respectfully submitted

Arne Dohlen

From: george@terra-iq.com
Sent: November 18, 2020 5:55 AM
To: arne.dohlen@radiumhotsprings.ca
Subject: Re: DP 159 Radium Escape
Attachments: Front Elevation Annotations.jpg; North Elevation Annotations.jpg; Rear Elevation Annotations.jpg; South Elevation Annotations.jpg; Front Elevation.JPG; North Elevation.JPG; Rear Elevation.JPG; South Elevation.JPG; Lanscaping Annotations.jpg

Good morning Arne,

Here are the extra details that you requested:

1: Storm Water Management

- we have added 4 dry well systems to our plan, one in each corner of the building, to manage the storm water. John will provide an updated plan showing their locations today, as well as the reworked grading which will help contain all storm water within the property lines.

2: Exterior Detailed Colour Scheme

- please find attached high resolution colorized copies of all elevations
- please find attached annotated versions of all elevations, which include the material choices and colors
- <https://luxarpro.com/> - metal siding manufacturer we will be using
- <https://www.jameshardie.ca/products/hardieplank-lap-siding> - cement plank siding manufacturer we will be using

3: Landscaping

- please find the annotated landscaping plan

4: Interconnection of top floor patios

- based on your feedback, we have decided to only allow the two middle units to have the option to communicate between their two top floor patios
- we have changed the location of the hot tubs so that they are positioned in a way that no communication between the corner units and the middle units can be achieved
- we have raised the stub wall around the top floor patios to 5' tall and removed the glass railing, for better noise containment
- all 4 units will use the Noise Aware noise monitoring systems. These systems include one outdoor sensor and one indoor sensor, which analyze the decibel levels within a 400 sq ft area. Noise Aware goes beyond just tracking loud noises, and uses predictive models to analyze the probability of the noise being party related. Every time the system detects questionable levels of noise, an alert is generated and transmitted to the person or persons monitoring the property, allowing us to immediately contact the offending group and to bring the noise to a stop. The out door sensors will be hardwired on each of the patios, at a height that renters cannot reach. Noise Aware is a partner of both VRBO and Airbnb and both platforms recommend these noise monitoring systems (and others, but this is the only system that has an out door sensor too) as part of their parties prevention strategy. The company website for this product is <https://noiseaware.io/>

- it has always been our intention to contract either Valley Hawk Security or a private contractor to do in person inspections of our building at around 11pm and 12pm, to ensure no noise can be heard from street level.
 - we have never had noise complaints from our current vacation rental.
- We did have a couple issues over the years at my parents' vacation rental which we help them manage. We believe that those incidents could have been prevented if we had the option to install noise monitoring devices at that property, and we strongly feel that if we had been informed of those issues in a timely fashion we could have stopped them immediately. There are a couple stories floating around about noisy groups at my parents' property, however what is not being shared is that the same people that are complaining, had the option to contact us but chose not to, so that things would get out of control and they would then have something to bad mouth us about. Since purchasing our lot at 7567 Pioneer Avenue we have put a lot of effort into building relationships with our new neighbors, in order to ensure that if there are ever any issues of any kind that are missed by our own monitoring, that we are informed so that we can act to immediately bring things back under control.
- the top floor patios are not that large, in fact once we did the 3D modeling and added life size furniture we find them to be quite small.
- We feel that even the worst intentioned renters, who go out of their way to mislead us and to bend the rules, will be hard pressed to pack a lot of people onto the patios, simply because of the size limitations.
- the main floor back yard areas are meant to be used as a bbq area off the kitchen, and as a place for dogs to go pee and folks to smoke.
- Because the space is very limited, we do not foresee large groups gathering there. The gates are required mostly just for our own access to the back yards, and they're not meant to create a larger gathering area.

5: Basement development

- our only plan currently is to eventually develop the basements in the next 1-3 years as entertainment areas without bedrooms. Having this area underground would reduce a lot of the potential for noise.
- having a basement bathroom rough in is an almost universal feature of all new residential construction, even when there are no plans for a basement development.
- any future basement development will still require Village approval

6: Total Occupancy

- in all of our discussions and presentations of our project, we have been very consistent in saying that each unit will accommodate up to 12 persons.
- our 3D modeling has made it very clear to us that aside from the 5 bedrooms, the only other places that can be used for sleeping in each unit would be the top floor living room couch and the main floor couch by the front window, for a worst case scenario maximum occupancy of 14.
- the third floor bedrooms were designed to be the most desirable and most private sleeping areas, and to be used by the head of the family, newly wed couples, or basically the most important couple in the group/family. As such, it would be counterproductive for the third floor living room to be used in a way which interferes with that. We can foresee that couple's small child(ren) to sometimes sleep on the pull out couch in the third floor living rooms, but that is because they would be closely related to the couple also staying on the third floor.
- trying to maximize the number of renters at one time is a strategy used by STR operators who have just one home, and while it does provide slightly higher income, the amounts are actually not significant. In our case, with 4 units, packing each one of them is actually not the way to maximize profitability; for us the correct strategy is to push renters to rent multiple units at once, which provides vastly more income over a few extra person charges.
- in our 4.5 years of operation we have hosted VPs of major banks, VPs of major oil companies, small and medium size business owners, and various other high net worth professionals. We've done a great job of punching above our weight and attracting these sort of guests by providing better service and amenities than the majority of other STRs, but we are not kidding ourselves and we know that a big reason of why they chose us is because there wasn't much else better available. We are convinced (and have confirmed with some of them) that these folks would have been much happier to rent a larger property with more bedrooms so that none of their family or friends would have to rough it on a couch

bed. So our motivation for our new project is to better accommodate this higher net worth demographic through offering more space and more bedrooms for the same number of guests (12 max).

- in our 4.5 years of operation we've been asked less than 10 times to host groups of 14. We only accepted 3 of them as an exception, and only because their groups included many very small children; for all other groups we offered to have them split their group between us and other neighbors, which some of them accepted to do, and that's exactly what we plan to do with the new project too.

- in our 4.5 years of operation our groups have consistently averaged between 7 to 9 guests per group (this has changed to 4 - 6 persons per group since COVID). For many people, sharing a home with 8 others is already a challenge that tests the limits of their comfort, and this is because of so many different personalities having to tolerate each other and not really because there isn't enough room. From our experience, groups of 10 and more are almost always either very close long time friends, or multigenerational families; it is also our experience that it is not often that such a large group can synchronize their schedules to be available to take trips together at one specific time. So even though on paper our 4 units could host 48 persons at once, we believe that there is a less than 5% chance of that happening once a year, and even in that very unique case it is to be expected that at least 25% of those persons would be children and babies, and that a significant percentage would be made up by grandparents.

7: Parking

- we believe that we have exceeded the requirements for parking set out in the bylaws, through better design and a clear focus on having minimum impact on the community. Being able to store trailers on the property is a significant advantage that not all properties have. Also, the option to park 3 or even 4 vehicles in certain conditions (1 full size SUV/truck and 3 small or medium cars or compact SUVs) will be something that a lot of our groups will make use of.

- during the busiest times we expect all parking spaces to be full, however we expect that during all other periods there will be many occasions when our guests can simply use the parking of one of our other units that isn't being used at the time.

- we are evaluating other area properties within a 100m radius and within a 300m radius of 7567 Pioneer Avenue, and while we know that this can't be used in our favor now, it is our long term goal to be able to balance the parking load between multiple nearby properties

8: Density

- 7567 Pioneer Avenue is one of the more unique lots in the C2 area, because it's one of only a few parcels that have access to 2 streets.

This allows it to have a higher density, as the driveways can all be connected to the roads. We agree that our proposed layout would not be adequate for the majority of other area lots.

- We believe that a higher density in the C2 area conforms with the Village's long term vision for the area. The higher density in C2 is desired because the residents are within walking distance to the businesses along the main commercial strip, which helps create a healthy economic environment for the community. We believe that an increasing density in C2 over the long term, will attract new businesses and will help the existing businesses to be more successful

9: Other noise management and monitoring

- all units will be equipped with video door bells at the entrances, which will allow us to monitor when needed the total number of persons entering each unit. The video door bells will also provide monitoring over our parking spaces, which will help us ensure that vehicles are not encroaching on the sidewalk

- all units will be equipped with an outdoor video camera in the soffit of the second floor window above the garage. This will provide a wider field of view over the driveways which will allow us to ensure that vehicles are not spilling over onto the sidewalk

- all windows will be triple pane, which offer a significant reduction in noise transfer from the inside the building to the outside

- the table area on the patios of the 2 middle units is recessed and is surrounded by full size walls on 3 sides even when the barn door between the patios is open. This will provide significant noise attenuation and containment.

10: Other considerations

- COVID has created the entirely new category of medium term rentals, which we feel shouldn't be ignored and which we plan to also focus on.

We understand that from the Village's perspective, the highest chance of potential issues would be from STR operation of our building and as such that's where the main focus will be, but we feel that we have created more than just a one trick pony and that our project is well positioned to be a true purpose built rental capable of functioning as either STR, MTR, or LTR.

- Changing demographics have created an increased demand for 5 bedroom family homes in new communities, and our project is a reflection of this growing demand.

I hope that this message has provided you with an adequate level of details to address your concerns fully, and we welcome any other questions you may have. I also look forward to the opportunity to answer any of the questions that the mayor or council at the November 25th council meeting.

Thank you for your time,
George

On 2020-10-21 09:49, arne.dohlen@radiumhotsprings.ca wrote:

> George:

>

> I am working through your Development Permit application for the 4
> unit row home project.

>

> Prior to being able to take this to Council I need some additional
> information and have some comments:

>

> * How will storm water be dealt with on the project. The Village
> does not have a storm drainage system, so storm water needs to be
> retained on site.

> * Please provide a detailed colour scheme of finishes for the
> building. An artist's rendering using these colours would be very
> beneficial for the review process.

> * Please provide details on the landscaping, this could also be
> incorporated into the artist's rendering.

> * I have a concern with the interconnection of the upper decks and
> the back yard areas. This could create a major party area with
> associated noise issues.

> * Your proposal has very high density for the size of the site,
> including the rough-in for a future bathroom in the basement. This
> area will be developed into another sleeping room/area I believe. The
> 'family room' on the 3rd floor will also be used as another sleeping
> area bringing occupancy levels to very large numbers per unit. This
> will further exacerbate the parking issues.

>

> When this application is submitted to Council, they will be receiving
> both your Appendix 1 & 2 for project information and 3rd storey
> variance request justification.

>

APPENDIX 1

Our intention is to construct a single building, comprised of 4 row home style units. We do not plan to subdivide the lot, and we understand that we will have to pay fees and taxes for each individual unit. We plan to own this building for the foreseeable future. We would describe the building and its intended use as Purpose Built Rentals. What we understand by Purpose Built Rentals is new constructions which have been designed and built with the specific goal of catering to the needs of renters, and we feel this is a much superior option to repurposing existing homes and condos as rental units. Our focus with this and future projects is on serving the specific needs of residential renters, over the short term (1-29 days), over the medium term (30-90 days), and over the long term (90+ days).

We understand that short term rentals are under review by the Village of Radium Hot Springs, and we fully support the adoption of a municipal sets of rules and bylaws to properly regulate and license this activity. We have operated our existing vacation home as short term accommodation since 2016, and we have always declared all income and paid all applicable taxes, so we would be happy to see a level playing field where everyone else is also paying their fair share.

Our current registration numbers are:

GST: 783256910RT0001

PST: 11048883

MRDT: 11048883

We also believe that even if one day we will sell the building, the building itself will continue its life as a residential building, with the choice of the new owners to create a Strata, to use them as full time residential dwellings or to continue using them as rental properties.

APPENDIX 2

To whom it may concern,

This letter is to explain in more detail our request for a bylaw variance, for our proposed residential construction at 7567 Pioneer Avenue, currently zoned as C2. The current bylaw regarding the total building height permitted differentiates between commercial and residential constructions, which we feel is an adequate and acceptable measure of steering new developments in a way that matches the long term goals of the Village planners and the best interest of the community. For our proposed project we have gone to great lengths in order to stay within the maximum height allowed for our zoning, however we are happy to do so because we believe in the long term vision of how Radium Hot Springs should grow.

Our variance request deals with only a small subsection of the existing bylaws, which calls for the lessor of 29.5' in total height or 2 storeys for residential buildings in C2 zones. Our request is that we would be permitted to build a partial third floor for our residential building, as long as we do not cross the maximum building height allowed, of 29.5 feet. We would like to present below the reasons why we feel that this variance request will have a net positive impact on our neighbors and the community as a whole:

1: We believe that the spirit in which the current bylaws where written was with the best intentions and the best knowledge available at the time about building construction practices and materials. In the past, the overwhelming majority of residential buildings were designed and constructed with tall sloping roofs for many reasons; recently there has been an accelerating trend of much shorter roofs and even flat roofs on sections of residential buildings, also for many reasons. We believe that the current bylaws where written with the correct assumption that very few residential buildings will be built without a tall roof, because that is how things were built, but new materials and new building practices have negated the need for a tall roof to always be used. We feel that because our combination of a very shallow roof over only part of the building along with a flat patio over the rest of the building allows us to stay within the intended total height described in the bylaw; this is not fundamentally different than if a 2 storey building had a roof which at it's peak also reached 29.5 feet in height. We are not creating any additional shade and we are not blocking the view for anyone else with our proposed construction, than we or anyone else would on the same lot with a 2 storeys residential building with a tall roof which also happened to be the same total height as our buiding.

2: The Pinewood Condos immediately across the street from us are 4.5 storeys tall plus the height of the roofs. It is not our concern why and how those buildings were approved, the important thing is that they are there now. Currently there is a big visual mismatch between these condo buildings and the small homes around it. We believe that the fact that our proposed building uses almost the entire 29.5 feet of height allowed at it's highest point, if our third floor variance is approved, it would create a much more visually pleasing transition between the very tall condo buildings and the homes west of us along Stanley Street. This would also apply to a lower extent when looking along Pioneer Ave from the Community Center, creating a transition between the tall condo buildings and the existing townhomes to the south of our lot.

3: The addition of a third floor allowed us to create a significantly more visually pleasing building, without deviating from the mountain inspired design to which we want to adhere. The standard 2 storeys plus roof townhome design leaves very little room to add many design elements, which we believe is part of the reason why except for the Borego Ridge townhomes most more recent developments in Radium have been quite bland. By lowering the roof line

APPENDIX 2

significantly and adding a third floor, we were able to achieve a much more appealing and mountain inspired design:

- more vertical space along the Pioneer Avenue and Stanley Street sides of our proposed building allows us to use more wood-look accent elements, which will make our building significantly better match the wood and glass heavy look of the new Community Center next door. This includes the siding on the main floor and second floor, but also the continuation of the wood look soffits into the top quarter of the third floor, which we wouldn't have room for in a 2 storey design.

- more vertical space along the Pioneer Avenue and Stanley Street sides of our proposed building allows us to include small balconies on the front of the building, which are a unique feature that we couldn't achieve in a 2 storey design. We believe that they along with the sliding doors required to access them create a more interesting building for everyone walking by or visiting the Community Center and Legend's Park to enjoy. The Community Center is a great investment and getting it built is a great springboard for the revitalization of the area around it and the entire Village, but the building itself has no other building in its vicinity to complement its design. We want to be the first of hopefully many new buildings that do complement the Community Center, and we are willing and happy to work with the Village to ensure that our final materials and colors decisions achieve this in the best way possible. We can describe in more detail in another letter why we feel that visually our current design is an excellent fit, and will be happy to provide this upon request.

4: We live in NW Calgary, in a new community called Nolan Hill. In our community and in many other new communities of predominantly single family homes owned by mostly younger families (under 45 years old), the number of 5 bedroom homes is already significant and it continues to grow. This is likely due to some demographics having more children, and an overall across the board stronger demand for children to each have their own bedrooms and even their own bathrooms. Our project is one of purpose built rentals, which can function equally well as short term rentals, long term rentals, or the entirely new category of "medium" term rentals created by COVID19 (30-90 day rentals for families or groups of friends working remotely from a resort municipality). By building a partial third floor and keeping all 5 bedrooms in each of our units above ground we and any future owners or users of the building gain significant advantages:

- above ground bedrooms are the most ideal option for all future uses and users of our building

- having all above ground bedrooms allows for a large entertainment room in each of the basements of the 4 units; we believe that this is a key design element which would benefit all future uses of the building, as it would keep the indoor noise constrained below ground where it will have the smallest possible impact on the surroundings, due to very low sound transfer. We would be happy to accept a restriction on our development permit, that we would never be allowed to build bedrooms in any of the basements if the third floor is approved! We are deeply aware of the concerns that float around rentals of all types relating to noise, and this is one of the many ways in which we aim to control them. We will be happy to provide more details of all the active and passive ways which we will use to control noise and the impact our renters would have on the neighbors and the community as a whole, if we are asked to.

5: We understand that bigger buildings in general will require more parking, and the hardest part of our designing process revolved around finding creative ways to provide as much available parking as possible, regardless of extra costs and expended efforts. We are meeting the bylaw mandated parking requirements, but we've put a lot of effort in going above and beyond those guidelines, because we want to be an example of how renting in Radium Hot Springs can be done right. We have included extended width driveways in our designs which will create added expenses for us but which will have a strong impact on reducing the amount of street parking our renters will require:

APPENDIX 2

- the wide driveways offer parking room for various size trailers, which would not have to be parked on the street

- the wide driveways can be used as additional parking for common small to medium size vehicles (i.e Honda Accord, VW Passat, Toyota Rav4, etc). Under ideal circumstances of one full size SUV/truck and 3 medium size cars, 4 vehicles will fit in each of our units before any street parking is required. Under this scenario, we have taken into account that none of the vehicles can in any way protrude onto the sidewalk, and we will take the following steps to ensure compliance from our renters:

- video camera surveillance of the driveways with remote monitoring

- periodical physical inspection by contracted company/employee; same contracted company/employee will be responsible for periodic noise checks at night, so they will also check for correct parking

We strongly feel that we are exceeding our obligations for parking requirements, and that our project won't cause anywhere close to the amount of constant street spill over that the Pinewood Condos create. We would be happy to address any parking concerns if requested to.

To sum up, we believe that our variance request is a very small deviation from the current bylaws, which maintains the principles and spirit on which the bylaws were written, without adding a negative impact on our neighbors or the community. We believe that the many positives of this project will have a net positive impact on the Village and we respectfully ask that you approve our request.

VILLAGE OF RADIUM HOT SPRINGS

DEVELOPMENT PERMIT NO. 159, 2020

1. Pursuant to Section 490 of the *Local Government Act*, the Council of the Village of Radium Hot Springs has, by resolution, issued a Development Permit to:

Radium Escape Ltd.
252 Nolanhurst Place NW
Calgary, AB
T3R 1S4 (the "Permittee")

This Development Permit is issued subject to compliance with all of the bylaws of the Village of Radium Hot Springs applicable thereto, except as specifically varied or supplemented by this Permit and it applies only to those lands within the Village of Radium Hot Springs and currently legally described as:

Lot 24, Block 5, District Lot 2580, Kootenay District, Plan 2606, PID 015-126-200

Civic address: 7567 Pioneer Ave.

2. This Development Permit is issued specifically to permit construction of a three-storey, four unit rowhouse. The layout of all features within the site including building location, screening, parking, and landscaping shall be as per 'Site Plan drawing A-101 drawn by John Haddon Design, dated November 18, 2020 attached to and forming part of this permit.
3. The general form and character of the building shall be in accordance with the architectural drawings sheets: A-201 – A-205; A-301 – A-302, drawn by John Haddon Design, dated November 18, 2020 attached to and forming part of this permit. Finishing materials will be as per annotated elevation diagrams attached to and forming part of this permit.
4. The general form and character of the landscaping shall be as per the landscape plan attached to and forming part of this permit.
5. The applicant has requested, and is hereby granted relief from the following Zoning Bylaw requirements:
 - (a) Maximum height: Permit a 3-storey rowhouse building in the C2 – Pedestrian Commercial/Residential zone.
6. A fire alarm system is required for each unit where proposed occupancy loads exceed 10 people.
7. Interconnected units: Only the center 2 units are permitted to have an interconnected exterior deck area on the third floor.
8. Noise Control: All units will be required to have a "Noise Aware" or similar noise monitoring system installed complete with outdoor hardwired sensors on the exterior deck spaces. These systems to be monitored by a security firm.
9. Basement Development: No bedrooms are permitted to be developed in the basement area.
10. On site parking shall be as per Site Plan drawing with: one concealed and one exterior parking stall per unit. The parking area shall be surfaced with asphalt, concrete or similar pavement so as to provide a surface that is durable and dust-free and shall be so graded and drained as to properly dispose of all surface water.

- 11. Off site servicing shall consist of pavement, curb, gutter and sidewalk along Pioneer Avenue. This construction shall occur to the standards detailed in the Village of Radium Hot Springs "Subdivision and Development Servicing Bylaw No. 169, 1997"
- 12. Drainage engineering on site shall be according to the standards of the municipality and shall be subject to an independent engineering review, at the proponent's cost. All storm water drainage shall be contained onsite, as per Village requirements.
- 13. The said lands shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit shall form a part hereof. In the event of a conflict, the provisions of this Permit prevail over any provisions of Zoning Bylaw No. 338, 2007.
- 14. If the Permittee does not commence the development permitted by this Permit within 24 months of the date of this Permit, the permit shall lapse.
- 15. This Permit is not a building permit. Construction may not commence until a building permit has been approved.
- 16. Pursuant to section 503(1) of the Local Government Act, the Village of Radium Hot Springs agrees to file a notice of permit in the Land Title Office that the said lands are subject to this Permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____TH DAY OF _____, 20__.

PERMIT ISSUED THIS ____TH DAY OF _____, 20__

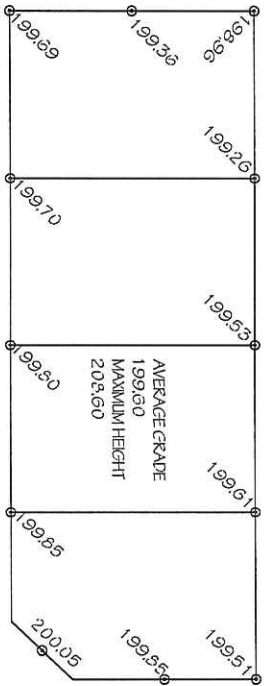
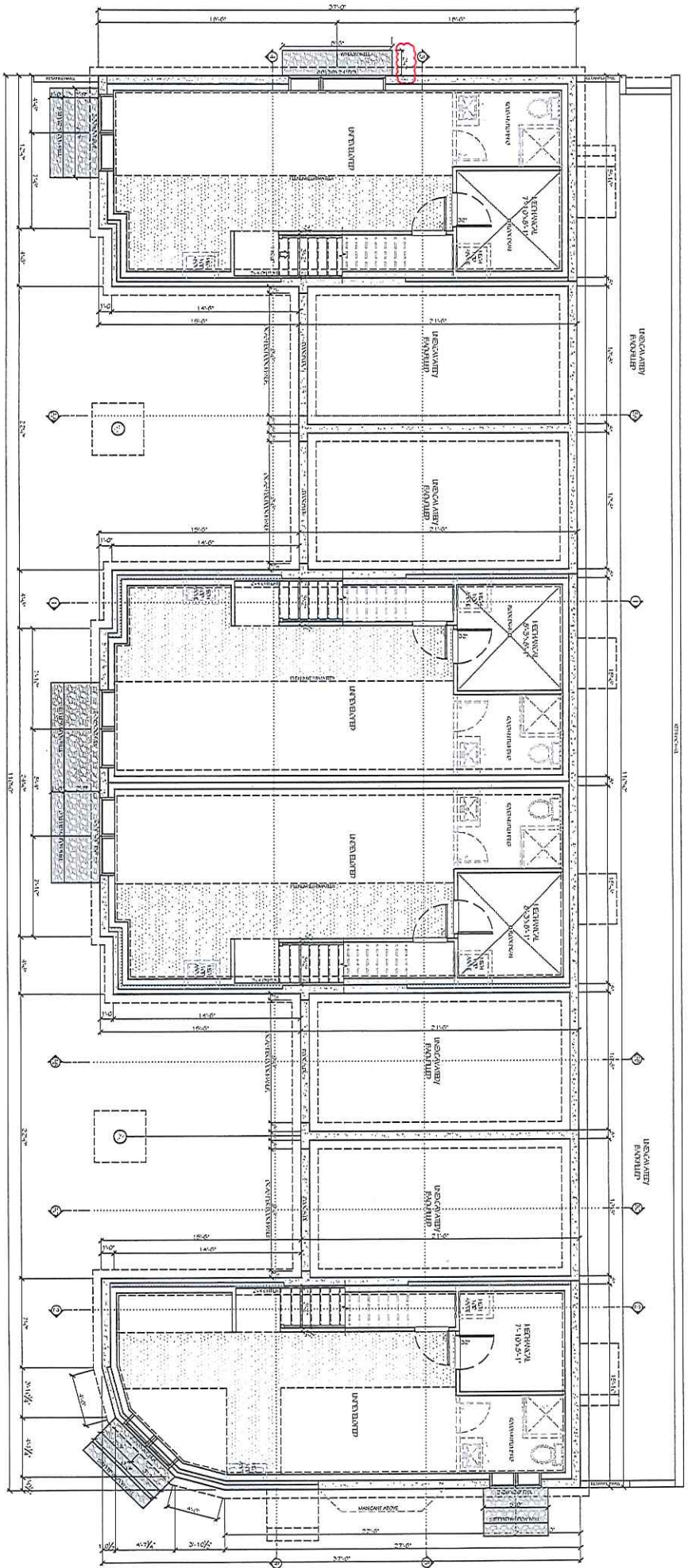
DIRECTOR OF PLANNING AND
DEVELOPMENT SERVICES

CONDITIONS OF THIS PERMIT HEREBY ACKNOWLEDGED BY THE PERMITTEE:

Signature

Date

Name (please print)



ELEVATION PLAN
1/8" = 1'-0"

SHEET TITLE
FLOOR PLANS

JOB #
20-001

SHEET #
A-201

LEAD DESIGN JAH
DESIGN TECH WE
YMD: 2020.08.17

DUMITRESCU
7567 PIONEER AVE
RADIUM BC

PHASE DEVELOPMENT
PERMIT

This is a copyright drawing and design
and shall not be used or reproduced
without the expressed written
consent of the designer. The
contractor shall check and verify all
dimensions and report all errors or
omissions to the designer prior to
commencing the work.
These drawings are not to be scaled.

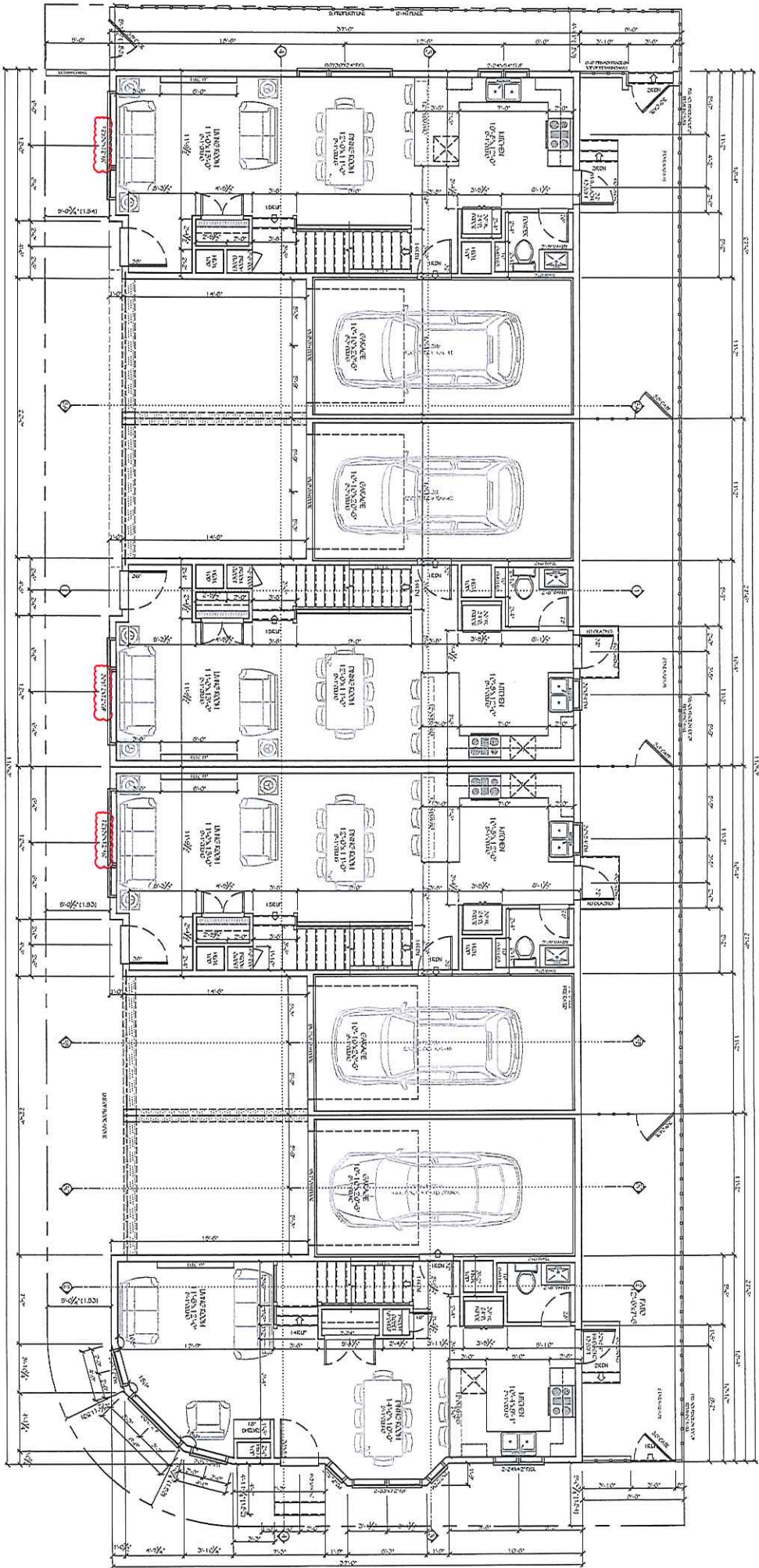
IMPERIAL

ALL DIMENSIONS
ARE IN FEET AND
INCHES UNLESS
NOTED OTHERWISE

JOHN HADDON DESIGN
334-24 AVENUE SW
CALGARY, ALBERTA T2S 0K2
403-245-2443
INFO@JOHNHADDONDESIGN.COM



JOHN HADDON
DESIGN



MAIN FLOOR PLAN
1/8" = 1'-0"

ANNEX A

SHEET TITLE
FLOOR PLANS

JOB #
20-001

SHEET #
A-202

LEAD DESIGN JAH
DESIGN TECH WE
Y.M.D: 2020.05.17

DUMITRESCU
7567 PIONEER AVE
RADIUM BC

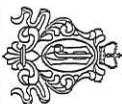
PHASE DEVELOPMENT
PERMIT

This is a copyright drawing and design and shall not be used or reproduced without the expressed written consent of the designer. The contractor shall check and verify all dimensions and report all errors or omissions to the designer prior to commencing the work. These drawings are not to be scaled.

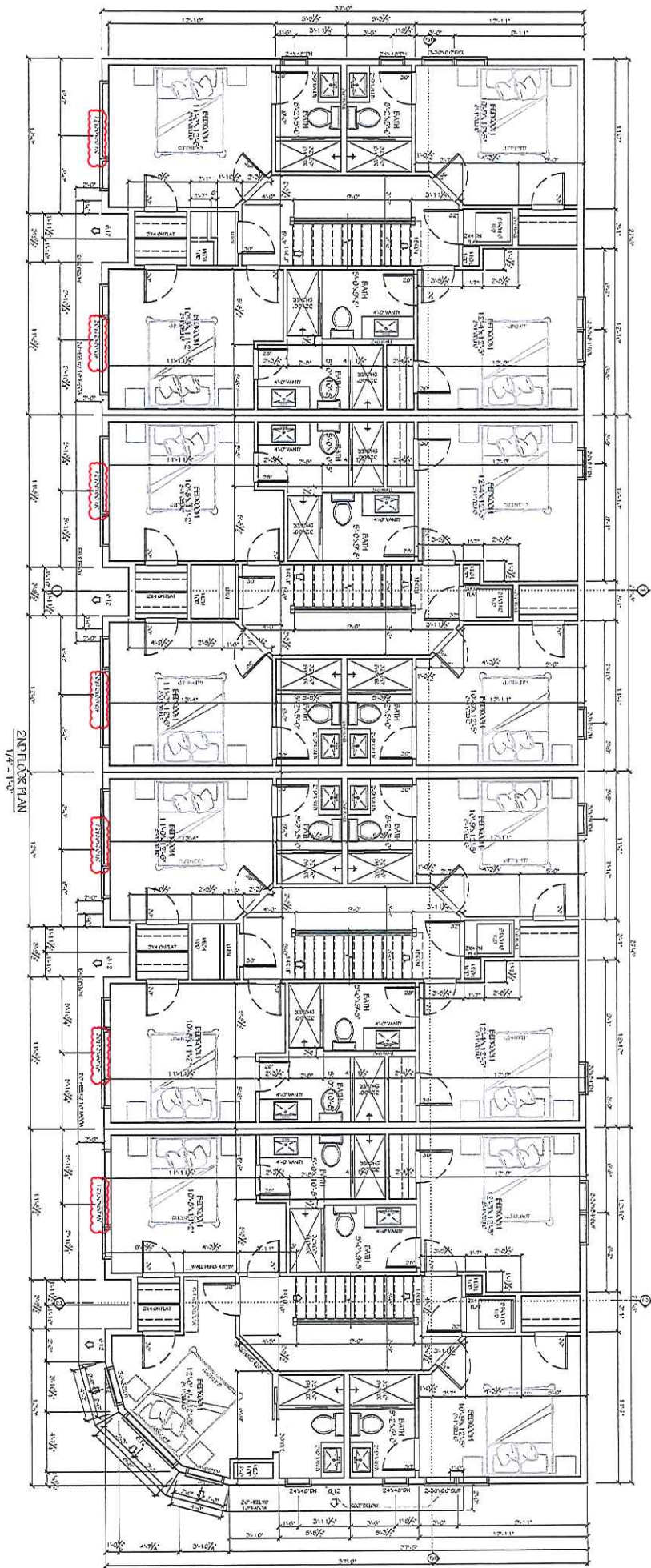
IMPERIAL

ALL DIMENSIONS
ARE IN FEET AND
INCHES UNLESS
NOTED OTHERWISE

JOHN HADDON DESIGN
334-24 AVENUE SW
CALGARY, ALBERTA - T2S 0K2
403-245-2443
INFO@JOHNHADDONDESIGN.COM



JOHN HADDON
DESIGN



SHEET TITLE
FLOOR PLANS

JOB #
20-001

SHEET #
A-205

LEAD DESIGN JAH
DESIGN TECH WE
Y.M.D: 2020.08.17

DUMITRESCU
7567 PIONEER AVE
RADIUM BC

PHASE DEVELOPMENT
PERMIT

This is a copyright drawing and design and shall not be used or reproduced without the expressed written consent of the designer. The contractor shall check and verify all dimensions and report all errors or omissions for the designer prior to commencing the work. These drawings are not to be scaled.

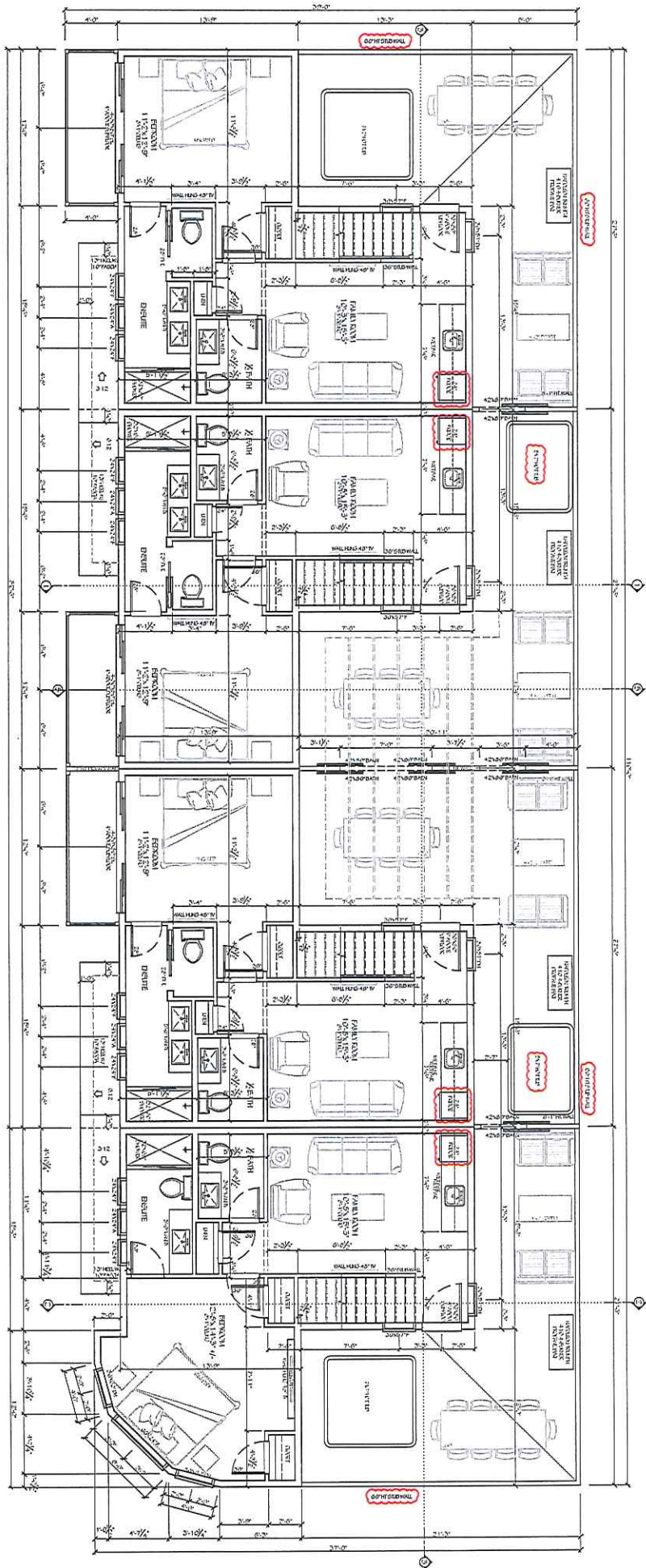
IMPERIAL

ALL DIMENSIONS
ARE IN FEET AND
INCHES UNLESS
NOTED OTHERWISE

JOHN HADDON DESIGN
334-24 AVENUE SW
CALGARY, ALBERTA - T2S 0K2
403-245-2443
INFO@JOHNHADDONDESIGN.COM



JOHN HADDON
DESIGN



3RD FLOOR PLAN
1/4" = 1'-0"

SHEET TITLE
FLOOR PLANS

JOB #
20-001

SHEET #
A-204

LEAD DESIGN JAH
DESIGN TECH WE
YMD: 2020.08.17

DUMITRESCU
7567 PIONEER AVE
RADIUM BC

PHASE DEVELOPMENT
PERMIT

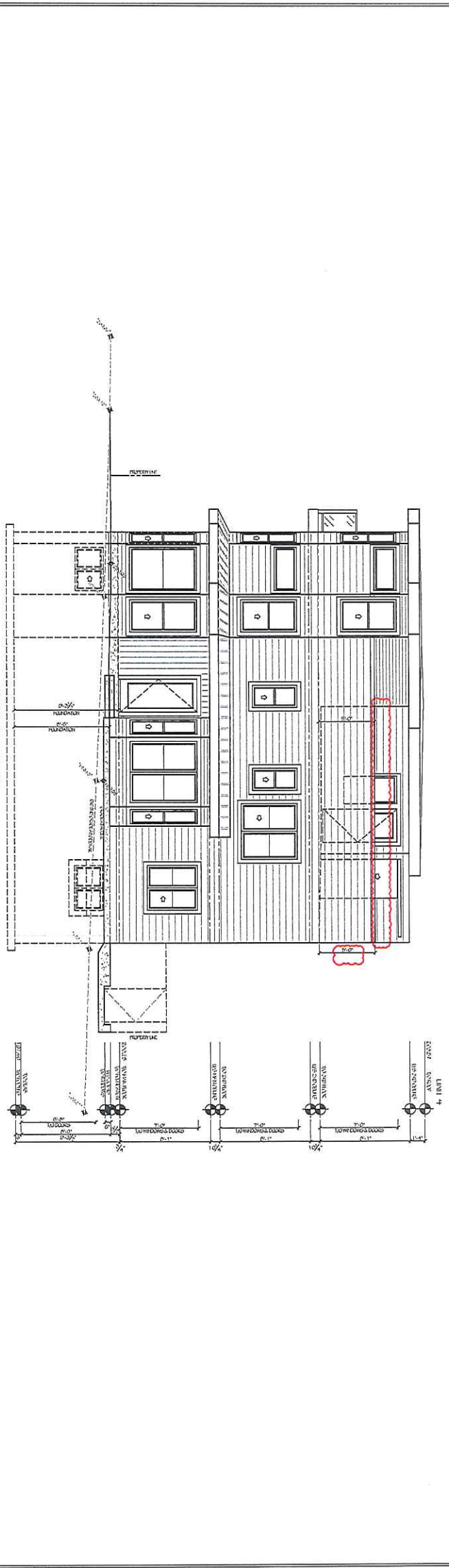
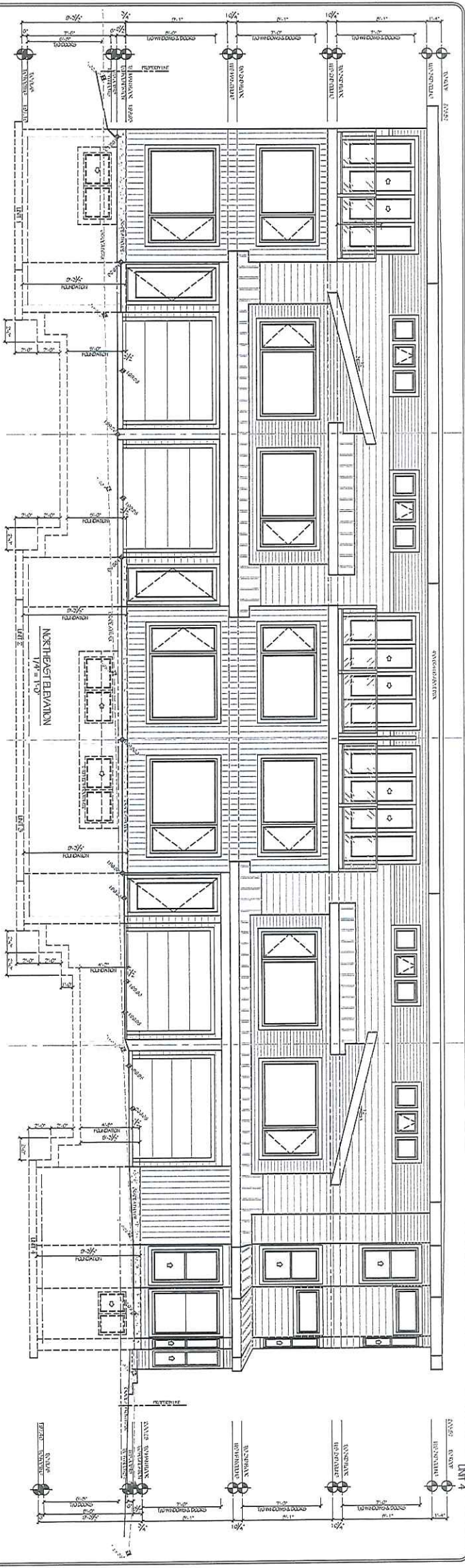
This is a copyright drawing and design and shall not be used or reproduced without the expressed written consent of the designer. The contractor shall check and verify all dimensions and report all errors or omissions to the designer prior to commencing the work. These drawings are not to be scaled.

IMPERIAL
ALL DIMENSIONS
ARE IN FEET AND
INCHES UNLESS
NOTED OTHERWISE

JOHN HADDON DESIGN
334-24 AVENUE SW
CALGARY, ALBERTA T2S 0K2
403-245-2443
INFO@JOHNHADDONDESIGN.COM



JOHN HADDON
DESIGN



FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION
FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION
FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION
FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION
FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION	FOUNDATION



JOHN HADDON DESIGN	SHEET TITLE ELEVATIONS
20-001	SHEET # A-301

LEAD DESIGN JAH	DESIGN TECH WE
MAY 2020 11.19	

DIMITRESCU 7567 PIONEER AVE KADLMBC

PHASE DEVELOPMENT PERMIT

Not to be enlarged, altered or used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising therefrom.

IMPERIAL ALL DRAWINGS ARE WITHOUT RESERVE UNLESS OTHERWISE NOTED
--

JOHN HADDON DESIGN 334-24 AVENUE CALDWAY, ALBERTA - T2S 0K2 403-241-2443 FRED.HADDON@DESIGN.COM

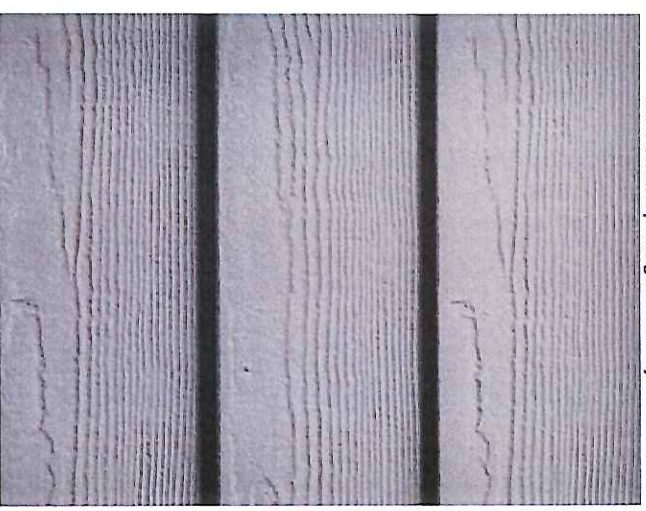
JOHN HADDON DESIGN
351-24 AINBIE SW
CALGARY, ALBERTA - T2S 0K2
403-245-2443
INFO@HADDONDESIGN.COM



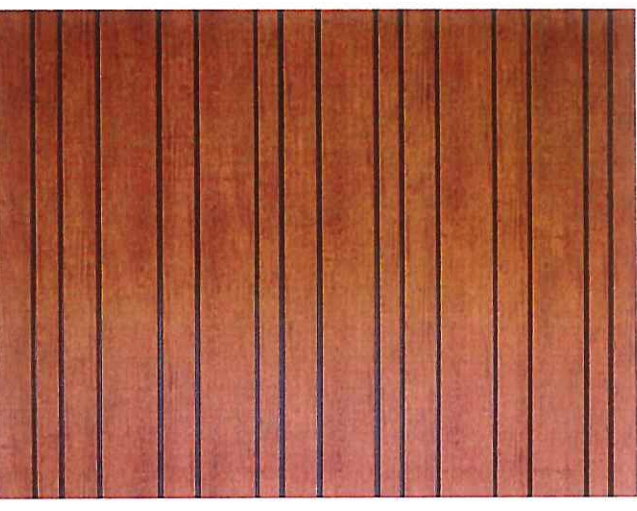
LUX Folded Well In Teak



HardiePlank Lap Siding In Pearl Grey

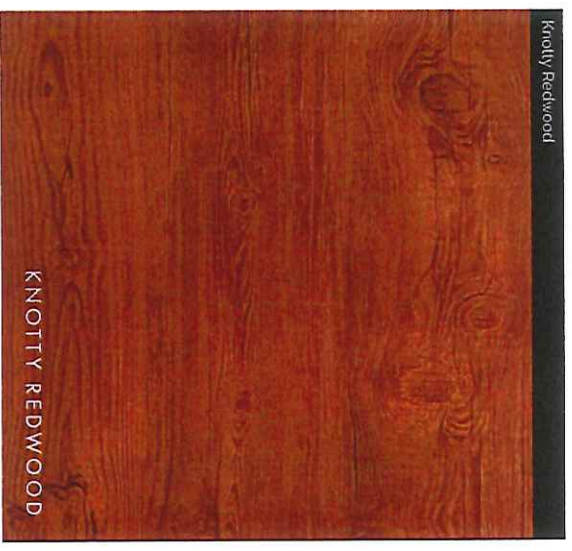


LUX Random Plank In Redwood

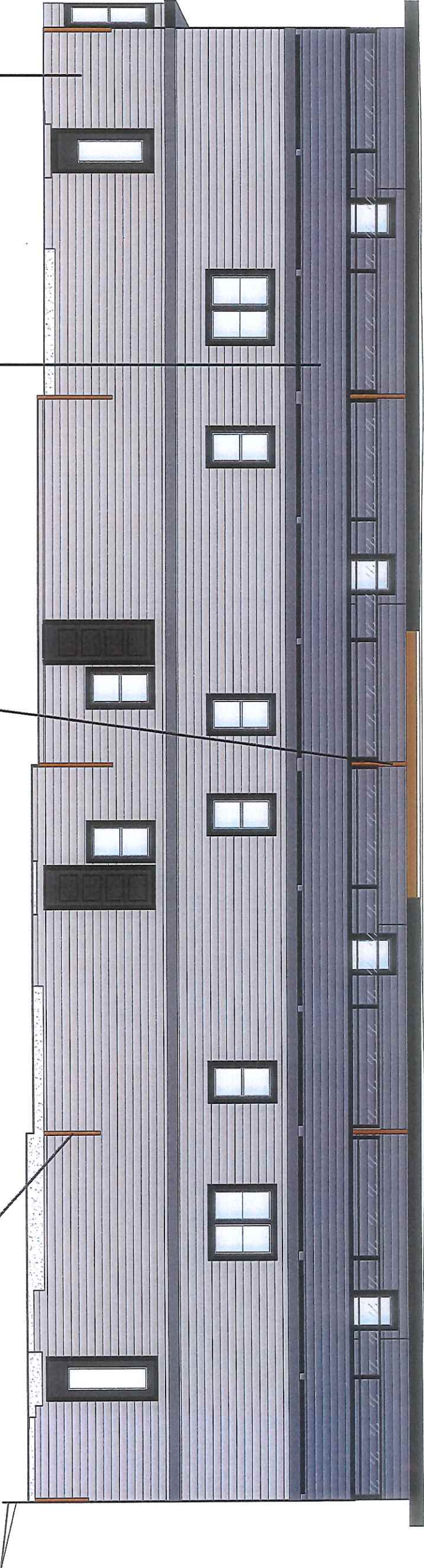


Knotty Redwood

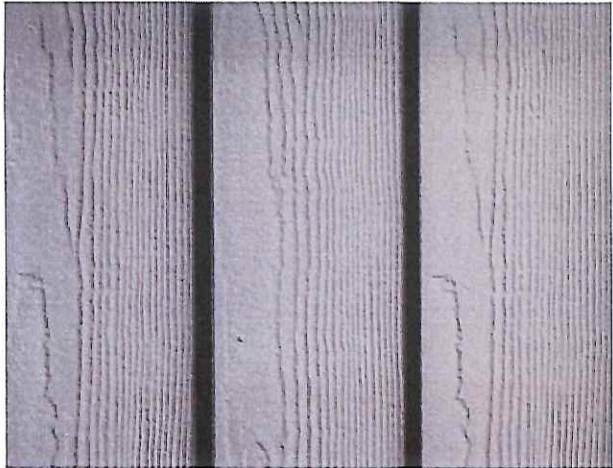
LUX Metal Siding In Redwood



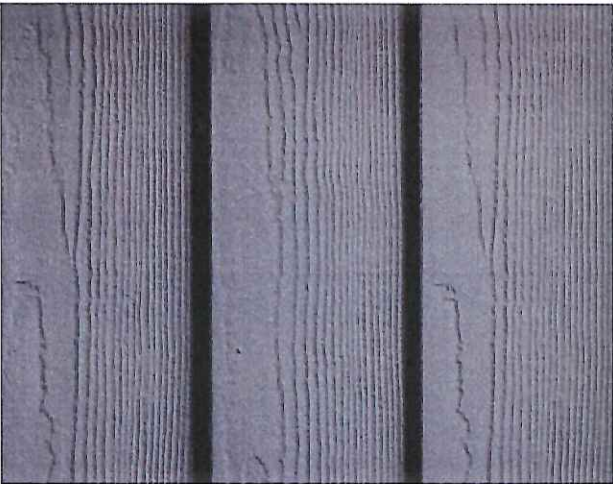
KNOTTY REDWOOD



HardiePlank Lap Siding in Pearl Grey



HardiePlank Lap Siding in Grey Slate



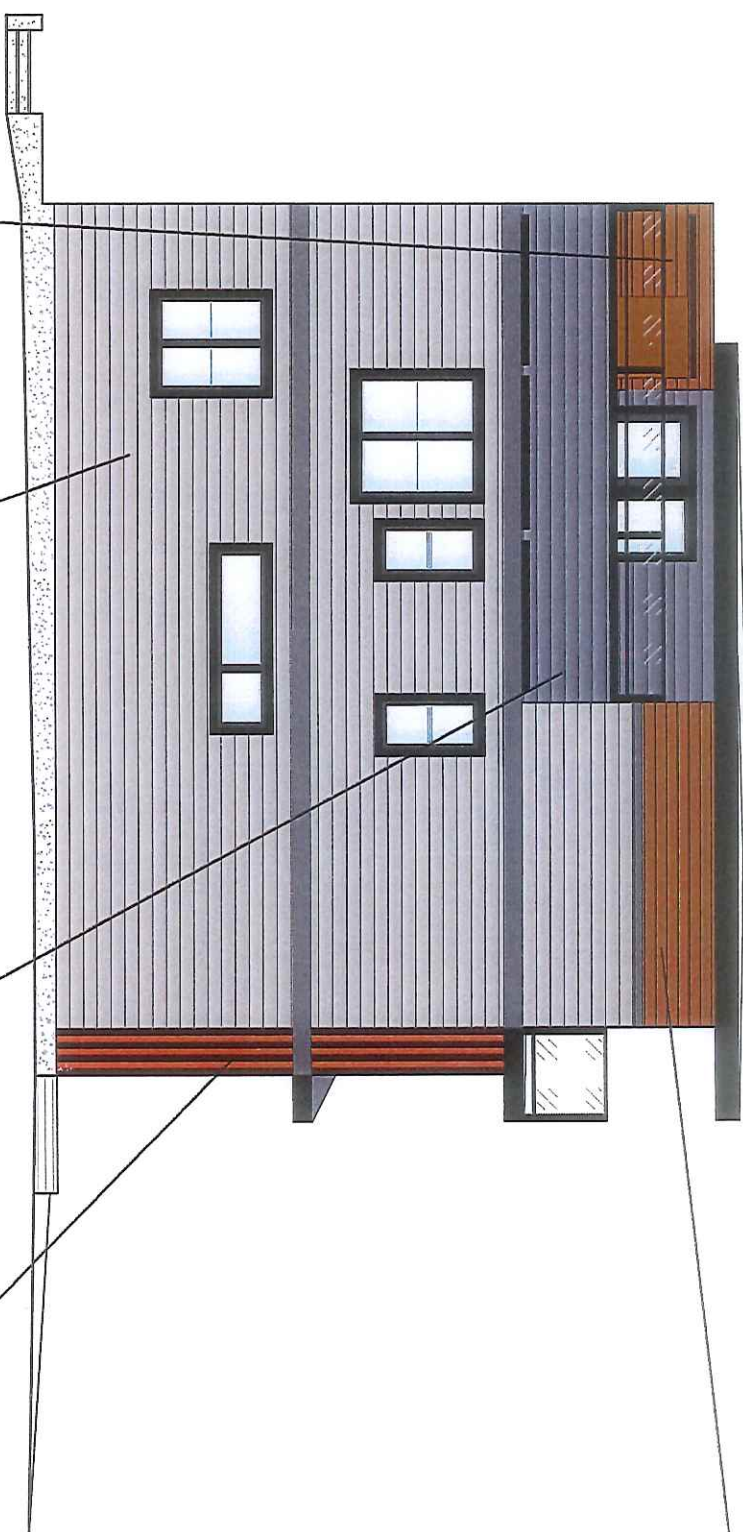
LUX Random Plank
partition walls in Redwood



Brown pressure treated
wood fences and privacy
walls throughout ground
level



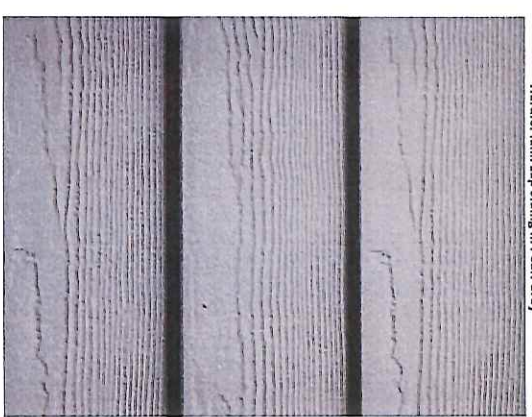
LUX Metal Siding in Redwood



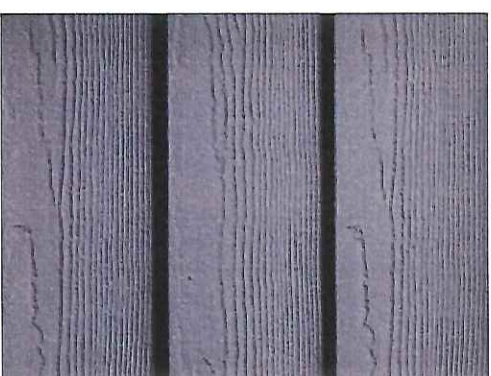
LUX Random Plank in Redwood



HardiePlank Lap Siding in Pearl Grey



HardiePlank Lap Siding in Grey Slate

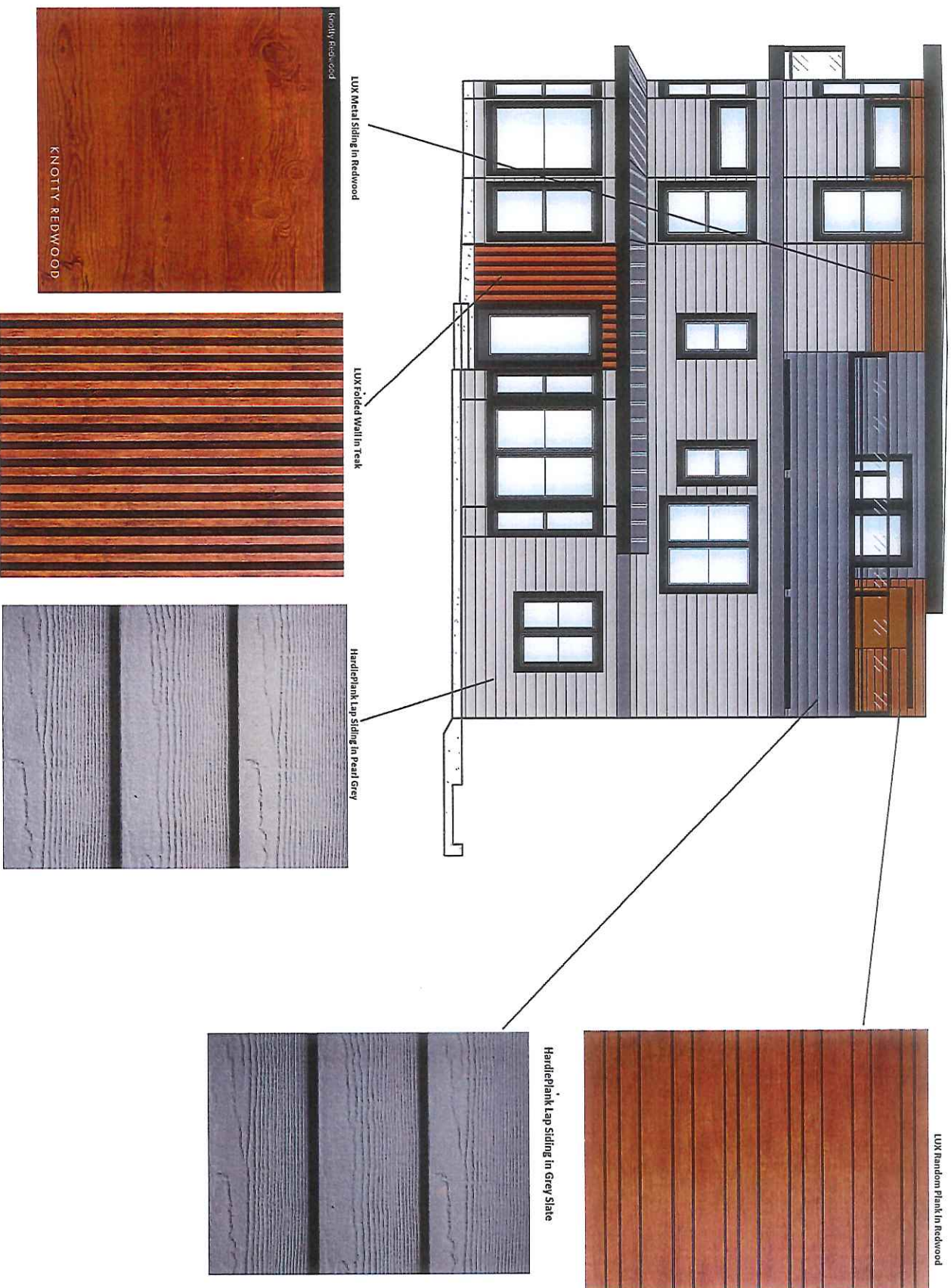


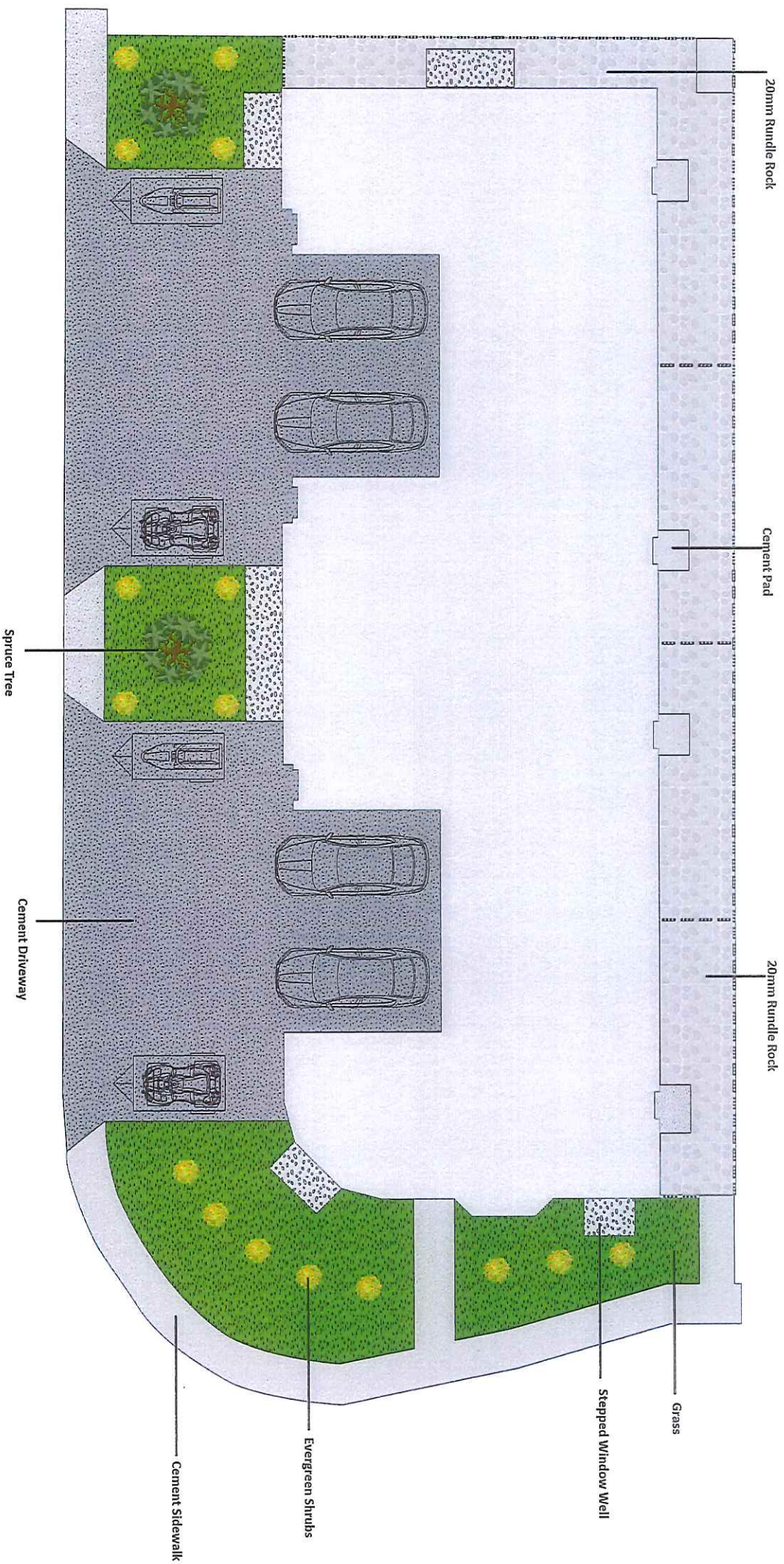
LUX Folded Wall in Teak



DP 159

LEFT ELEVATION





DP 159

LANDSCAPE PLAN



November 2, 2020

Ref: 257671

Mark Read
Chief Administrative Officer
Village of Radium Hot Springs
PO Box 340
Radium Hot Springs BC V0A 1M0

Dear Mark Read:

The provincial government understands the fiscal impacts that COVID-19 has placed on local service providers. To help address these challenges, in September the Province of British Columbia announced nearly \$2 billion in joint federal/provincial spending, including: \$540 million for local governments, \$418 million for community infrastructure, and \$1 billion for transit, TransLink and ferries.

The \$540 million for local governments was further divided into three funding streams. Two of the streams (“Development Services” for \$15 million and “Strengthening Communities” for \$100 million) will be application-based funding. More information on these funding streams will be forthcoming.

The third stream will provide direct grants to local governments. This funding stream is called the “COVID-19 Safe Restart Grants for Local Governments” and will provide up to \$425 million for local operations impacted by COVID-19. This funding will support local governments as they deal with increased operating costs and lower revenue due to COVID-19. It will also ensure local governments can continue to deliver the services people depend on in their communities. Eligible costs will include:

- addressing revenues shortfalls;
- facility reopening and operating costs;
- emergency planning and response costs;
- bylaw enforcement and protective services like fire protection and police;
- computer and other electronic technology costs (to improve interconnectivity and virtual communications);
- services for vulnerable persons (e.g. persons living with disabilities, mental illness or addictions, persons experiencing homelessness or other vulnerabilities); and
- other related costs.

I am pleased to advise you that **Radium Hot Springs** is the recipient of a **\$459,000** grant under the COVID-19 Safe Restart Grant for Local Governments. This amount will be directly transferred to your local government in the coming days.

.../2

Ministry of Municipal Affairs and Housing	Office of the Deputy Minister	Mailing Address: PO Box 9490 Stn Prov Govt Victoria BC V8W 9N7 Phone: 250 387-9108 Fax: 250 387-7973	Location: 6th Floor, 800 Johnson Street Victoria BC V8W 9N7 http://www.gov.bc.ca/mah
--	----------------------------------	--	--

Under section 36 of the Local Government Grants Regulation, the amount of the grant to each local government is set by Minister of Municipal Affairs and Housing. The determination of this amount was based on a formula that applies to all municipalities.

This formula is based on two components: a flat funding amount and an "adjusted per-capita" amount. The flat amount is \$169,000, and the "adjusted per-capita" amount is \$308.34 per adjusted population.

The adjusted population formula is designed to ensure that larger municipalities receive more money than smaller ones, but that smaller municipalities receive higher per capita funding than larger ones. This is because small municipalities often lack a diverse tax base and the economies-of-scale to easily restart their operations.

An example of the funding formula (for a municipality of 43,000 people) is provided as an attachment to this letter. If you wish, you can apply this formula to your 2018 population of 939 to determine both your adjusted population and total funding amount. 2018 population data was used because it is the last year in which we have complete financial and demographic data for each municipality.

To ensure full transparency regarding the use of funds, your local government will be required to annually report on how it spent this grant. This will be part of your annual financial reporting under section 167 of the Community Charter. Your local government will provide a schedule to the audited financial statements respecting the amount of funding received, the use of those funds, and the year-end balance of unused funds. Your local government must continue to annually report on the use of grant money until the funds are fully drawn down.

If you have questions or comments regarding this letter, please feel free to contact Jennifer Richardson, Grants Analyst, Local Government Infrastructure and Finance Branch, by email at: Jennifer.Richardson@gov.bc.ca, or by phone at: 778 698-3243.

The provincial government welcomes this opportunity to support COVID-19 restart and recovery throughout British Columbia. We believe that this funding will contribute to the long-term recovery of local governments who are both critical service providers and crucial drivers in the British Columbia economy.

Sincerely,



Kaye Krishna
Deputy Minister

Attachment

pc: Jennifer Richardson, Grants Analyst, Local Government Infrastructure and Finance Branch
Karen Sharp, Chief Financial Officer, Village of Radium Hot Springs

Attachment: Example Calculation for a Municipality with 43,000 People

City of Rockridge

Population	43,000
Adjusted Per Capita Funding	\$308.34 per adjusted population
Flat Funding Amount	\$169,000

Funding model

Population Range		C=B-A	D	E = C (up tp 43,000)		F = E x D	F
From	to	Range	Adjustmen t Ratio	Rockridge Pop	Adjusted Pop Calc	Adjusted Pop	
-	2,000	2,000	1	2,000	= 2,000 x 1	2,000	
2,001	5,000	3,000	0.8	3,000	= 3,000 x 0.8	2,400	
5,001	10,000	5,000	0.6	5,000	= 5,000 x 0.6	3,000	
10,001	20,000	10,000	0.4	10,000	= 10,000 x 0.4	4,000	
20,001	40,000	20,000	0.2	20,000	= 20,000 x 0.2	4,000	
40,001	150,000	110,000	0.1	3,000	= 3,000 x 0.1	300	
150,001	900,000	750,000	0.05	-	= 0 x 0.05	-	
Sum				43,000		15,700	G=ΣF
				Per capita funding		\$308.34	H
				Funding per Adjusted Pop		4,840,938	I=GxH
				Flat Funding Amount		169,000	J
				Total Funding Amount		5,009,938	K=I+J

Thus, a municipality with a population of 43,000 would have an adjusted population of 15,698. With per capita funding of \$308.34, the funding per adjusted population would \$4.84 million. Plus a flat funding amount of \$169,000, the total funding to this municipality would be \$5.009M.

The Population data was taken from the Ministry's Local Government Stats System for 2018 (Schedule 201).

<https://www2.gov.bc.ca/gov/content/governments/local-governments/facts-framework/statistics/statistics>

VILLAGE OF RADIUM HOT SPRINGS
Cheque Register-Summary-Bank

radium

AP5090
Date : Nov 17, 2020
Page : 1
Time : 12:38 pm

9(c)

Supplier : 00AIBA1 To ZVW001
Pay Date : 01-Oct-2020 To 31-Oct-2020
Bank : 01 - Kootenay Savings - VOR

Seq : Cheque No. Status : All
Medium : M=Manual C=Computer E=EFT-PA

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
2199	28-Oct-2020	EDG001	EDGEWATER HILLTOP PAR 3 GOLF	Issued	148	C	224.00
2200	28-Oct-2020	GUY001	GUY FOURNIER CONCRETE	Issued	148	C	514.50
2201	28-Oct-2020	KOO007	KOOTENAY MONUMENT INSTALLATIONS	Issued	148	C	945.00
2202	28-Oct-2020	REI002	REINHARDT, CLARA A.	Issued	148	C	55.49
2203	28-Oct-2020	RFE001	RFE ALARMS LTD	Issued	148	C	6,441.68
2204	28-Oct-2020	SHO002	SHOLINDER & MACKAY SAND & GRAVEL LTD	Issued	148	C	1,894.20
2205	28-Oct-2020	TRC001	TRC PROJECTS LTD - SECURITY RELEASE	Issued	148	C	65,877.36
2206	28-Oct-2020	BFR001	BF ROOFING LTD	Issued	149	C	2,887.50
00050-0001	01-Oct-2020	ART003	ARTECH CONSULTING LTD	Cleared	132	T	1,928.61
00050-0002	01-Oct-2020	CEN002	CENTRALSQUARE CANADA SOFTWARE INC.	Cleared	132	T	1,128.75
00050-0003	01-Oct-2020	CHA003	CHAMBERLAIN, LISA	Cleared	132	T	80.19
00050-0004	01-Oct-2020	DIE001	DIEKRI TECHNOLOGY INC	Cleared	132	T	606.37
00050-0005	01-Oct-2020	ENV001	ENVIROCULTURE LANDSCAPE MAINTENANCE	Cleared	132	T	4,377.45
00050-0006	01-Oct-2020	GIR001	GIROUX, PATRICK	Cleared	132	T	3,360.00
00050-0007	01-Oct-2020	GOL001	GOLDIGGER EXCAVATING LTD - RINK	Cleared	132	T	23,420.25
00050-0008	01-Oct-2020	HAR001	HARRISON, STAN	Cleared	132	T	1,292.50
00050-0009	01-Oct-2020	LAR002	LARCH LANDSCAPE ARCHITECTURE	Cleared	132	T	5,165.63
00050-0010	01-Oct-2020	SER001	SERVICES FLO INC	Cleared	132	T	336.00
00050-0011	01-Oct-2020	SHE001	SHEBLIME ROOFING	Cleared	132	T	2,370.38
00050-0012	01-Oct-2020	SIG001	SIGN ARTISTS	Cleared	132	T	259.39
00050-0013	01-Oct-2020	STE001	STEEDMAN ENTERPRISES	Cleared	132	T	3,885.00
00050-0014	01-Oct-2020	TUR001	TURF N TIMBER CONTRACTING LTD - RINK	Cleared	132	T	54,600.00
00050-0015	01-Oct-2020	TXN001	TXN INSTALLATIONS LTD - TRAINING	Cleared	132	T	48,149.50
00050-0016	01-Oct-2020	URB002	URBAN ARTS ARCHITECTURE INC. - TRAINING	Cleared	132	T	6,625.13
00050-0017	01-Oct-2020	URB001	URBAN SYSTEMS LTD	Cleared	132	T	1,344.00
00050-0018	01-Oct-2020	WIL002	WILLIMONT, KEN	Cleared	132	T	2,394.00
00050-0019	01-Oct-2020	ZAM001	ZAMMITEK SERVICES INC	Cleared	132	T	509.88
00001-0001	14-Oct-2020	ART003	ARTECH CONSULTING LTD	Cleared	142	T	907.30
00001-0002	14-Oct-2020	CEN002	CENTRALSQUARE CANADA SOFTWARE INC.	Cleared	142	T	30.66
00001-0003	14-Oct-2020	CHA003	CHAMBERLAIN, LISA	Cleared	142	T	1,482.22
00001-0004	14-Oct-2020	FRA001	FRATER ENTERPRISES	Cleared	142	T	1,518.30
00001-0005	14-Oct-2020	GIR001	GIROUX, PATRICK	Cleared	142	T	590.00
00001-0006	14-Oct-2020	HAR003	HARTMUT PUJO CONSTRUCTION LTD - RINK	Cleared	142	T	38,639.60
00001-0007	14-Oct-2020	MPE001	MPE ENGINEERING LTD	Cleared	142	T	132.30
00001-0008	14-Oct-2020	RIG001	RIGID PLUMBING - RINK	Cleared	142	T	16,122.49
00001-0009	14-Oct-2020	ROY003	ROY BAILEY CONSTRUCTION - RINK	Cleared	142	T	25,772.25
00001-0010	14-Oct-2020	ROY002	ROYAL CANADIAN LEGION - BRANCH 169	Cleared	142	T	100.00
00001-0011	14-Oct-2020	SHE001	SHEBLIME ROOFING	Cleared	142	T	2,719.50
00001-0012	14-Oct-2020	STE001	STEEDMAN ENTERPRISES	Cleared	142	T	4,935.00
00001-0013	14-Oct-2020	TAY002	TAYNTON BAY ELECTRICAL LTD - RINK	Cleared	142	T	9,597.00
00001-0014	14-Oct-2020	TUR001	TURF N TIMBER CONTRACTING LTD - RINK	Cleared	142	T	43,237.43
00001-0015	14-Oct-2020	TXN001	TXN INSTALLATIONS LTD - TRAINING	Cleared	142	T	7,025.10
00001-0016	14-Oct-2020	URB002	URBAN ARTS ARCHITECTURE INC.	Cleared	142	T	2,580.58
00001-0017	14-Oct-2020	WIL002	WILLIMONT, KEN	Cleared	142	T	3,528.00
00001-0018	14-Oct-2020	YOU001	YOUNG ANDERSON	Cleared	142	T	2,577.29
00051-0001	28-Oct-2020	GIR001	GIROUX, PATRICK	Cleared	146	T	2,555.00
00051-0002	28-Oct-2020	TOU001	TOURISM RADIUM - MOUNT RAINIER	Cleared	146	T	36,679.40
00052-0001	28-Oct-2020	CHA003	CHAMBERLAIN, LISA	Cleared	147	T	593.65
00052-0002	28-Oct-2020	DIE001	DIEKRI TECHNOLOGY INC	Cleared	147	T	1,650.99
00052-0003	28-Oct-2020	ENV001	ENVIROCULTURE LANDSCAPE MAINTENANCE	Cleared	147	T	6,327.30
00052-0004	28-Oct-2020	GOL001	GOLDIGGER EXCAVATING LTD - REPAIRS + TRUCKS	Cleared	147	T	15,849.76
00052-0005	28-Oct-2020	INT006	INTERNATIONAL TIMBERFRAMES	Cleared	147	T	3,616.20
00052-0006	28-Oct-2020	KOO023	KOOTENAY PAVING AKATERUS CONSTRUCTION	Cleared	147	T	2,726.60
00052-0007	28-Oct-2020	SHE001	SHEBLIME ROOFING	Cleared	147	T	2,462.25
00052-0008	28-Oct-2020	TRIG02	TRIGG, NICOLE	Cleared	147	T	315.00
00052-0009	28-Oct-2020	URB001	URBAN SYSTEMS LTD	Cleared	147	T	3,599.03



Supplier : 00ABA1 To ZW1001
Pay Date : 01-Oct-2020 To 31-Oct-2020
Bank : 01 - Kootenay Savings - VOR

202009-1120

Seq :
Cheque No.
Status : All
Medium : M=Manual C=Computer E=EFT-PA

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
Bank : 01 Kootenay Savings - VOR							
00052-0010	28-Oct-2020	WIL002	WILLMONT, KEN	Cleared	147	T	1,587.59
00052-0011	28-Oct-2020	ZAM001	ZAMMTEK SERVICES INC -TRAINING-LIGHTS	Cleared	147	T	10,523.76
00053-0001	31-Oct-2020	MUN005	MUNICIPAL PENSION PLAN	Cleared	150	E	10,386.81
00053-0002	31-Oct-2020	REC002	RECEIVER GENERAL OF CDA - 001/002	Cleared	150	E	12,244.32
00000-3755	31-Oct-2020	BMO001	BMO MASTERCARD * SEE ATTACHED	Cleared	151	E	35,576.16
00000-3756	31-Oct-2020	CAS001	CASTLE FUELS (2008) INC	Cleared	151	E	83.01
00000-3757	31-Oct-2020	FIR007	First Data Global Leasing	Cleared	151	E	33.34
00000-3758	31-Oct-2020	MAN001	MANULIFE	Cleared	151	E	3,542.22
00000-3759	31-Oct-2020	MIN002	MINISTER OF FINANCE-SCHOOL TAX	Cleared	151	E	63,584.37
00000-3760	31-Oct-2020	MIN004	MINISTER OF FINANCE - PST	Cleared	151	E	2,444.63
00000-3761	31-Oct-2020	MIN011	MINISTER OF FINANCE - EMPLOYER HEALTH	Cleared	151	E	1,975.34
00000-3762	31-Oct-2020	NOR002	NORTH STAR HARDWARE & BUILDING SUPPL	Cleared	151	E	623.97
00000-3763	31-Oct-2020	RFS001	RFS CANADA	Cleared	151	E	631.10
00000-3764	31-Oct-2020	TOU001	TOURISM RADIUM - MROT (TRUCK)	Cleared	151	E	17,859.32
Total Computer Paid :		79,839.73	Total EFT PAP :		148,963.59	Total Paid :	641,023.92
Total Manually Paid :		0.00	Total EFT File :		412,220.60		



Supplier : 00ABA1 To ZV1001
Pay Date : 01-Oct-2020 To 31-Oct-2020
Bank : 02 - MasterCard Payments-VOR
Seq :
Cheque No.:
Status : All
Medium : M=Manual C=Computer E=EFT-PA
OCT MASTERCARD

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
00000-3708	03-Oct-2020	ACE001	A.C.E. COURIER SERVICES	Cleared	140	E	937.03
00000-3709	03-Oct-2020	ALE001	ALEXANDER HOLBURN LLP	Cleared	140	E	1,788.02
00000-3710	03-Oct-2020	AMA001	AMAZON.CA	Cleared	140	E	41.95
00000-3711	03-Oct-2020	BES001	BEST PAINTS	Cleared	140	E	130.88
00000-3712	03-Oct-2020	CAN001	CANADA POST CORPORATION	Cleared	140	E	90.27
00000-3713	03-Oct-2020	CAN004	CANADIAN TIRE - VARIOUS	Cleared	140	E	118.42
00000-3714	03-Oct-2020	CAN015	CANADIAN LINEN & UNIFORM SERVICE	Cleared	140	E	79.93
00000-3715	03-Oct-2020	CAR001	CARO ANALYTICAL SERVICES	Cleared	140	E	867.88
00000-3716	03-Oct-2020	CAR003	CARSON INTERNATIONAL	Cleared	140	E	391.82
00000-3717	03-Oct-2020	CAS003	CASEY'S FLASHING & ROOFING LTD	Cleared	140	E	214.45
00000-3718	03-Oct-2020	CHA002	CHARTERED PROFESSIONAL ACCOUNTANTS	Cleared	140	E	170.52
00000-3719	03-Oct-2020	COL004	COLUMBIA VALLEY FREIGHT	Cleared	140	E	283.50
00000-3720	03-Oct-2020	COL006	COLUMBIA VALLEY PIONEER	Cleared	140	E	210.00
00000-3721	03-Oct-2020	COL010	COLUMBIA VALLEY SEWER & DRAIN LTD	Cleared	140	E	500.65
00000-3722	03-Oct-2020	COL013	COLUMBIA VALLEY AUTO PARTS LTD	Cleared	140	E	80.00
00000-3723	03-Oct-2020	CRE001	CRESTEEL HVAC (81) LTD	Cleared	140	E	626.63
00000-3724	03-Oct-2020	EEC001	EECOL ELECTRIC INC	Cleared	140	E	94.20
00000-3725	03-Oct-2020	ELEG01	ELECTROGAS MONITORS LTD	Cleared	140	E	134.40
00000-3726	03-Oct-2020	ENV003	ENVIRONMENTAL OPERATORS CERTIFICATI	Cleared	140	E	313.95
00000-3727	03-Oct-2020	ESS001	ESSO - VARIOUS	Cleared	140	E	67.06
00000-3728	03-Oct-2020	FAB001	FABCO PLASTICS WESTERN (BC) - TUBING	Cleared	140	E	9,130.66
00000-3729	03-Oct-2020	FRE001	FRED SURRIDGE LTD	Cleared	140	E	2,633.86
00000-3730	03-Oct-2020	FRE004	FREIGHTLINER OF CRANBROOK	Cleared	140	E	390.13
00000-3731	03-Oct-2020	GAS001	GAS PLUS, RADIUM HOT SPRINGS	Cleared	140	E	488.84
00000-3732	03-Oct-2020	GUI001	Guillemin International Co	Cleared	140	E	397.60
00000-3733	03-Oct-2020	HIW001	HI-WAY 9 EXPRESS LTD	Cleared	140	E	205.97
00000-3734	03-Oct-2020	HUS001	HUSKY OIL OPERATIONS LTD - RADIUM	Cleared	140	E	104.03
00000-3735	03-Oct-2020	ICC002	ICONIX WATERWORKS LP	Cleared	140	E	152.41
00000-3736	03-Oct-2020	INV003	INVERMERE HARDWARE & BLDG SUPPLIES	Cleared	140	E	3,288.36
00000-3737	03-Oct-2020	LOR001	LORDCO AUTO PARTS	Cleared	140	E	3.99
00000-3738	03-Oct-2020	MIS008	MISC - VENDOR ONE-TIME	Cleared	140	E	309.12
00000-3739	03-Oct-2020	MOU003	MOUNTAINVIEW SYSTEMS	Cleared	140	E	866.25
00000-3740	03-Oct-2020	PEA001	PEACOCK EMBROIDERY	Cleared	140	E	1,103.84
00000-3741	03-Oct-2020	PIT003	PITNEY BOWES - GENERAL	Cleared	140	E	72.78
00000-3742	03-Oct-2020	RED002	REDEYE RENTALS & SALES LTD	Cleared	140	E	902.72
00000-3743	03-Oct-2020	ROG003	ROGERS WIRELESS	Cleared	140	E	353.14
00000-3744	03-Oct-2020	SHA004	SHAW CABLESYSTEMS - COLUMBARIUM	Cleared	140	E	68.27
00000-3745	03-Oct-2020	SHA006	SHAW CABLESYSTEMS - CENTRE	Cleared	140	E	238.23
00000-3746	03-Oct-2020	SOU001	SOUTHERN INTERIOR CONSTRUCTION ASSC	Cleared	140	E	96.44
00000-3747	03-Oct-2020	STA001	STAPLES/BUSINESS DEPOT	Cleared	140	E	284.73
00000-3748	03-Oct-2020	SUM003	SUMMIT VALVE AND CONTROLS INC - w/ 1/2" 1/2" 1/2"	Cleared	140	E	3,633.28
00000-3749	03-Oct-2020	TEL001	TELUS COMMUNICATIONS INC	Cleared	140	E	34.02
00000-3750	03-Oct-2020	TOP001	TOP CROPS' NURSERYLAND FEED & PET FO	Cleared	140	E	1,799.13
00000-3751	03-Oct-2020	VAS001	VAST RESOURCE SOLUTIONS	Cleared	140	E	780.83
00000-3752	03-Oct-2020	VIT001	VITALAIRE	Cleared	140	E	20.16
00000-3753	03-Oct-2020	WAS001	WASTE MANAGEMENT OF CANADA CORP	Cleared	140	E	99.29
00000-3754	03-Oct-2020	ZOO001	ZOOM VIDEO COMMUNICATIONS INC	Cleared	140	E	22.40

Total Computer Paid :	0.00	Total EFT PAP :	34,652.46	Total Paid :	34,652.46
Total Manually Paid :	0.00	Total EFT File :	0.00		

DOES NOT INCLUDE LIBRARY