

The background is a vibrant, abstract composition. It features a stylized face with a yellow eye and a wide, toothy grin, rendered in shades of purple, blue, and yellow. The face is partially obscured by a large, dark purple circular shape in the upper left. The overall style is reminiscent of mid-century modern or pop art, with bold colors and geometric forms.

# **VILLAGE OF RADIUM HOT SPRINGS OFFICIAL COMMUNITY PLAN**




**Bylaw No. 527**



INTERACTIVE DOCUMENT STYLE GUIDE

Cross-Reference	Indicates an active link to a cross-reference within the document Will jump you to the appropriate page with the cross-reference
Definition	Indicates an active link to a definition for the term Will jump you to the page in the Definitions section with the appropriate definition
Glossary	Indicates an active link to a definition and web link for more information Will jump you to the page in the Glossary section with the appropriate glossary term
Existing Document / Legislation	Indicates an active link to an existing Village document
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ACKNOWLEDGMENTS

COUNCIL

Mike Gray (Mayor)  
Carey Collin  
Christi Ferguson-Huston  
Erin Palashniuk  
Dale Shudra

ADVISORY COMMITTEE

Brendon Bashuski  
Kevin Blackwell  
Gregory Deck  
Jessica Fairhart  
Tracy Flynn  
Mike Gray  
Linda Mauer  
Lindsay McPherson  
Erin Palashniuk  
Nico Pascua  
Tim Power

VILLAGE STAFF

Adrian Bergles  
Jill Logan  
Wayne Gamborski

CONSULTANT TEAM

Bluerock Planning  
Selkirk Planning & Design  
ARC Engagement  
Rynic Solutions  
FRANK planning collaborative

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We acknowledge the Village of Radium Hot Springs is located on the traditional and unceded territory of the Ktunaxa and Secwepemc peoples and the chosen home of the Metis.

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# SECTION 1

## 1. OUR FUTURE

### 1.1 COMMUNITY VISION

## OUR BETTER NATURE

**AUTHENTIC. CONNECTED. YEAR-ROUND. BEAUTIFUL. WALKABLE. INCLUSIVE.**

These core words guide our path forward. We will see these words translated in an expanded village centre, more affordable housing options for all ages, an inter-connected path system, a recreation-focused public gathering place in north Radium, mixed-use revitalization for our hotel district, and economic development focused on health and wellness, professional services, and the self-employed.

We will enable new foundations that nurture a full-time community, including daycares, education, and health services. We will build beautiful. Care for environment will be a heartbeat.

Our better nature is about our kindness, compassion, and cohesive intention as a connected community. Our better nature is about seeking refuge in the shadow and awe of the mountains and a healthier, more harmonious relationship with the natural world. In Radium Hot Springs, these are the soulful ties that bind us in pursuit of better, and exceptional.



# 1.2 GUIDING PRINCIPLES

Guiding principles serve as a compass to provide clarity and consistency to choices. They were developed by asking the community what they value most about Radium Hot Springs.



## QUALITY OF LIFE

A strong sense of community is important to those that call Radium Hot Springs home. Simply having time to connect with each other is Radium Hot Springs’ unique superpower. Building a year-round community where local residents can thrive will continue to foster a diverse and sustainable Village for everyone to enjoy.



## LOCAL BUSINESSES, AMENITIES AND SERVICES

Access to essential services within a close-knit community setting is important to residents. The presence of local businesses, events and activities available year-round enhances our community, our local economy, and our charm for residents and for visitors. We collaborate with our neighbouring communities to provide the amenities and services needed across the Columbia Valley.



## HEALTHY, ACTIVE LIFESTYLE

We value the abundance of outdoor recreational opportunities like trails, biking, hiking, paddling, skiing and golfing. Easy access to green spaces, parks and recreation facilities within and near Radium Hot Springs enhances our quality of life and attracts visitors that contribute to our local economy. A variety of cultural and recreational events foster community engagement and enjoyment.



## NATURAL ENVIRONMENT AND RESILIENCE

Spectacular vistas, wetlands, forests, and abundant wildlife enhance our community’s tranquil living. We respect the natural environment and all it supports including wildlife, ecosystems, clean air and water. In planning for our future, we will enhance our climate resiliency for our community and natural environment.



## BALANCED, SUSTAINABLE DEVELOPMENT

Balancing growth and tourism with environmental conservation and community needs to maintain our small Village feel. We support economically viable, sustainable development practices that focus on efficient infrastructure, resilient energy systems, progressive waste management, and active transportation infrastructure improvements.



## ACCESS TO HOUSING

We are a community of permanent and part-time residents. We value diverse, affordable, safe housing options for those who choose to live here and we’ll continue to support these options as a path to permanency.



## 1.3 6 BIG MOVES

To achieve the community vision and guiding principles the Community Plan has six big moves that are fulfilled through all aspects of the Plan. These six big moves are translated into policies, development permit areas, and mapping throughout the Community Plan.

### 1. GROW & STRENGTHEN DOWNTOWN

Big move #1 is grow and strengthen the Downtown by focusing commercial and Mixed-Use investment in the Village's existing Downtown and vicinity. During community engagement citizens expressed a strong desire to not dilute existing commercial with new commercial areas. The goal is to have a strong, vibrant Downtown that can serve residents and visitors with a variety of opportunities. This is reflected in the Plan through policies on:

- Encouraging 2-3 storey *Mixed-Use Buildings*;
- Encouraging infilling of vacant lots in the Downtown;
- Minimizing the number of commercial areas in the Village;
- Enhancing the public spaces in and around Downtown; and
- Promoting dynamic activities on the ground floor (e.g. shops, cafes, restaurants) while channeling less dynamic but desired activities to second+ floors.

### 2. MANAGE SHORT-TERM RENTALS

Big move #2 is a made-in-Radium solution to regulate *Short-Term Rentals*. *Short-Term Rentals* provide unique overnight accommodations to visitors, which is important in a tourism-based area. However, Radium Hot Springs' vision for a community with substantially more permanent residents requires appropriately priced housing for full-time residents. Regulation of *Short-Term Rentals* can assist with managing the availability and price of housing. Further, the Village's Housing Needs Report identifies a strong need for more housing for full-time residents, which simply won't be possible without a level of regulation for *Short-Term Rentals*. The overall strategy, which will be implemented through this Community Plan, the Zoning Bylaw and other Village Bylaws, includes:

- Distinguishing between "stand-alone" and "principal residence" *Short-Term Rentals*;
- Regulating specific locations for "stand alone" *Short-Term Rentals*;
- Phasing out the existing approved "stand alone" *Short-Term Rentals* that are not in preferred areas; and
- Focusing new "stand alone" *Short-Term Rentals* into commercial areas (e.g. Downtown and Highway 93), where amenities, parking and enforcement is more established.

### 3. REVITALIZE HIGHWAY 93

Big move #3 is revitalize and redevelop Highway 93 to nurture high quality, Mixed-Use development that is both the pride of Radium Hot Springs and a key economic development enabler. Driving into Radium Hot Springs on Highway 93 from the east provides iconic views of the original Radium Hot Springs motels with their craftsman architecture. However, this area is aging and new buildings will eventually replace the existing ones. The Village wishes to guide redevelopment in this area through a few key strategies:

- New Development Permit Area design guidelines that are easier-to-understand and will promote high-quality development that still looks and feels like Radium Hot Springs;
- Directing *Short-Term Rentals* to this area;
- Encouraging multi-storey development (e.g. 2-3 storeys) to add more businesses and accommodation units to serve tourism growth while also providing more services for residents;
- Improving the pedestrian pathway connections to Downtown and hot pools; and
- Enable better business investment models with more enabling Zoning Bylaw.

### 4. ECOLOGICAL AND HAZARD PROTECTION

The Village is situated within the Columbia River valley and next to the Rocky Mountains, which places many sensitive ecological and hazard areas within the Village's boundaries. The Village wants to ensure protection of these sensitive areas through the use of development permit areas, including for:

- Protection of *Riparian Areas*;
- Protection of steep slopes and floodplain lands; and
- Wildfire protection.

### 5. INFILL THROUGH HOUSING CHOICE

Big move #5 is promote infill and redevelopment of vacant or under-used land through increased housing diversity and choice. More choice, affordability, and availability helps house the local workforce and permanent residents. The Village's Housing Needs Report shows a lack of smaller housing units, which are typically found in attached housing forms (e.g. *Duplex, Triplex*, Townhouse and Apartment). The Community Plan encourages and allows for increased housing choice throughout the Village.

### 6. COMPREHENSIVE PLANNING AREAS

Big move #6 is create comprehensive planning areas for the Village's undeveloped areas. The Village has serious constraints to expand its boundaries and must use all of its land as efficiently as possible. Comprehensive planning areas ensure that unplanned areas have adequate long-range planning that aligns with the policies and vision of this Community Plan.

Each comprehensive planning area will be required to undertake a *Master Plan* that evaluates the technical merits of the proposed development, including environmental, financial, servicing/infrastructure, transportation, mobility, and residential elements. Minimum residential densities are required for some comprehensive planning areas to ensure the Village can achieve its housing needs over the long-term while also achieving fiscal sustainability of infrastructure.



# 1.4 HOW IT ALL FITS TOGETHER

The Radium Hot Springs Vision and Guiding Principles are implemented through the six big moves and the policies and maps within the Plan. The ultimate success of this Community Plan will be through the everyday decisions of the Village's Council, administration and citizens. **Figure 1** shows how the Plan fits together.

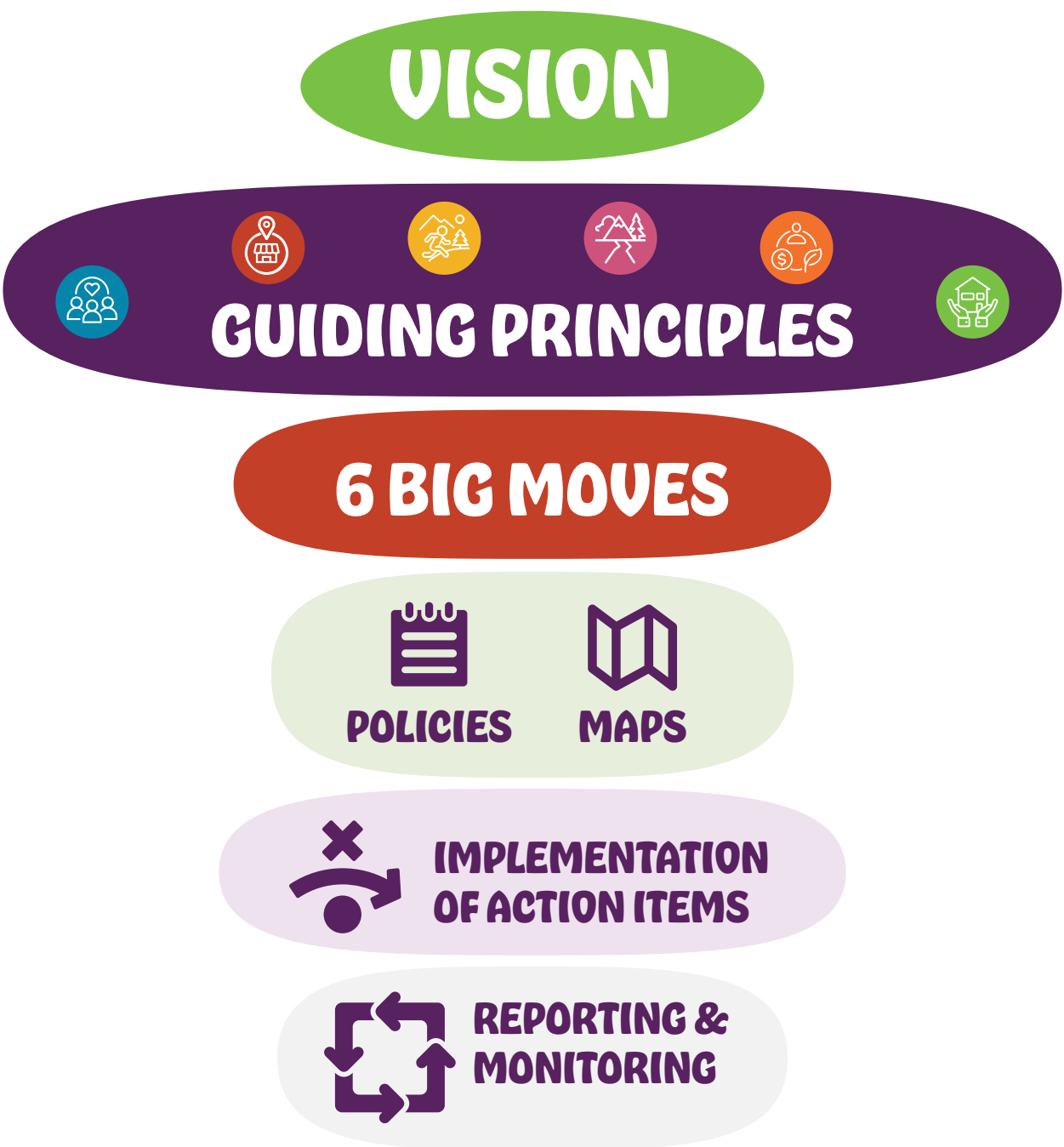


FIGURE 1: HOW TO UNDERSTAND THE OCP

# 1.5 HOW THE PLAN WAS CREATED

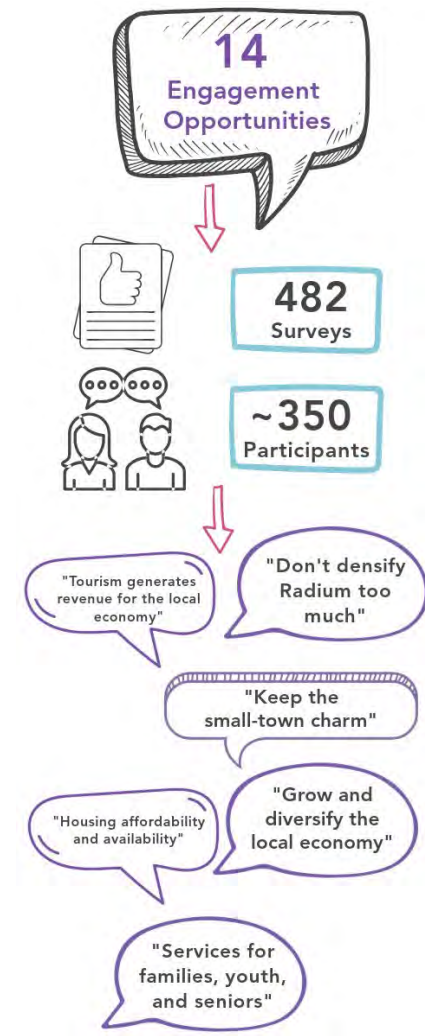


The Plan was created through a combination of creative community engagement, review of precedent plans, and review of existing reports, to identify key areas of opportunities and challenges within Radium Hot Springs. This includes:

- Review of precedent plans from similar-sized municipalities and key municipal documents;
- Analysis of housing needs data, and demographic and population data, including population projections;
- Review of the Village and Columbia Valley economic and market conditions;
- Project team site visit, including aerial drone photography;
- Land analysis through the use of Geographic Information Systems (GIS) and spatial mapping;
- Workshops and discussions with Village administration;
- Extensive community engagement;
- Advisory Committee meetings; and
- Workshops with Council.

All of this work sets the direction for the Community Plan, and forms a foundation for the Vision and Guiding Principles that pursue a compelling future for Radium Hot Springs.

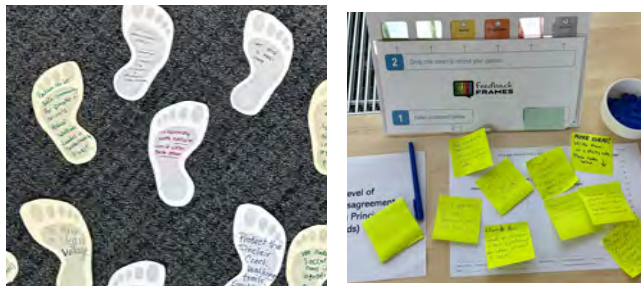
## COMMUNITY ENGAGEMENT





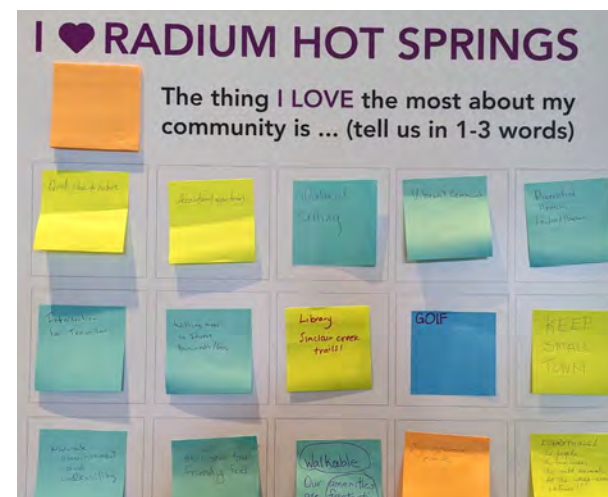
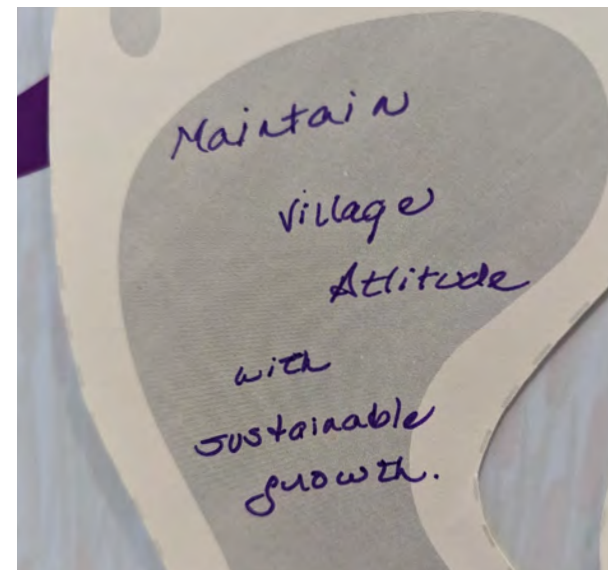
One of the major components of the plan creation process was engagement with the Village's community members and business owners. The project team, including consultants and staff, went out to the community to seek ideas, feedback, and direction. Participation in the process was extensive with 482 surveys completed and over 350 community members attending project specific events. 14 engagement opportunities took place including:

- Coffee Chats pop-up events;
- Speaker Night with keynote speaker Chris Fields;
- Community Bus Tour;
- Youth Night;
- Community Surveys;
- Book a Chat conversations;
- Community BBQ;
- Market on Main;
- Open Houses;
- Virtual Open Houses; and
- Advisory Committee Meetings.



Throughout the process, it was clear that there was a desire to continue to support the small-town vibrancy of Radium Hot Springs. Participants discussed ideas such as the regulation of **Short-Term Rentals**, support for a strong Downtown with local businesses, increasing housing diversity and efficient use of land, and supporting the creation of high-quality jobs. Several key areas of discussion emerged through conversations with the community and the feedback received:

- Keep the small-town charm and vibrancy of the community;
- Grow and diversify the local economy;
- Housing affordability and availability;
- Services for families, youth, and seniors;
- Gaps in the current Zoning Bylaw;
- Opportunities for small commercial businesses within neighbourhoods;
- Vibrant Downtown as a hub for commercial activity;
- More recreation features, parks, and pathways;
- The need for more recreation facilities which offer activities year-round;
- Local amenities such as health facilities and professional services; and
- Where and how new growth and development should occur.



## BEYOND ENGAGEMENT

Beyond community engagement The Plan was additionally crafted with the aid of numerous research sources and review of existing Village documents. This part of the process included:

- Review of precedent OCPs, including: Castlegar, Grand Forks, Kelowna, Penticton, Fernie, Valemount, Canal Flats, Slokan and Nakusp
- Review of existing Village related documents including:
  - Accessibility Plan
  - **Active Transportation** Plan
  - 2013 Official Community Plan
  - 2024 Interim Housing Needs Report
  - Zoning Bylaw
  - 2023 Community Wildfire Resiliency Plan
  - Annual Drinking Water Report
  - Water and Sewer Capacity under buildout per Zoning Bylaw
  - Memorandum and Elk Park Ranch Capacity
  - Forster Creek Intake & Settling Pond Management Plan
  - Bylaw No. 169 - Subdivision & Servicing Bylaw
  - Bylaw No. 363. 2010 Subdivision Bylaw Amendment
  - Bylaw No. 416 - Traffic and Parking Regulation Bylaw
  - Bylaw 344 - Development Cost Charges
  - Sign Bylaw & Sign Design Guidelines
  - Columbia River Floodplain Mapping, Engagement Summary Report: Phase 1
  - **Long-Term Rental** Housing Revitalization Tax Exemption Program Bylaw No. 497, 2023
  - Wild Animal Attractant Bylaw No. 490, 2023



# 1.6 WHY DO WE HAVE A COMMUNITY PLAN?

The Community Plan is necessary to guide the Village of Radium Hot Springs towards its desired future. A vision for a Village that is *authentic, connected, full-time, beautiful, walkable* and *inclusive*. A vision that lives the theme *Our Better Nature*. This Community Plan is the map to guide the Village towards that future.

The Village is legally required to adopt an Official Community Plan (OCP) and for simplicity it is being called just the Community Plan.

The Community Plan is the top long-term planning document for the Village and is adopted through a Bylaw process, making it legally binding. The Community Plan not only guides decisions of Council and administration, but also determines where developments on private land (e.g. housing and businesses) may be located.

The Community Plan can be viewed as an agreement between the government of Radium Hot Springs and its people on how and where the Village will grow, develop, invest, and spend tax dollars.



# 1.7 LEGISLATIVE REQUIREMENTS

The **Local Government Act (LGA)** outlines the legal requirements of the contents and process of an Official Community Plan (OCP). In 2023, there were substantial changes to the LGA to enable a greater diversity of housing across British Columbia. In addition to enabling more diverse housing types, the legislative changes requires the Village align its Community Plan with its Housing Needs Report by showing how the Village will meet its future housing needs.

While the LGA must be referenced for exact wording, a general summary is provided below for convenience purposes only. An OCP must include policies, statements, and map designations respecting:

- The approximate location, amount, type and density of residential development required to meet anticipated housing needs over a period of at least 20 years;
- The approximate location, amount and type of present and proposed commercial, industrial, institutional, agricultural, recreational and public utility land uses;

- The approximate location and area of sand and gravel deposits that are suitable for future sand and gravel extraction;
- Restrictions on the use of land that is subject to hazardous conditions or that is environmentally sensitive to development;
- The approximate location and phasing of any major road, sewer and water systems;
- The approximate location and type of present and proposed public facilities, including schools, parks and waste treatment and disposal sites;
- Housing policies of the local government respecting affordable housing, rental housing and special needs housing; and
- Targets and policies for the reduction of greenhouse gas emissions.





# SECTION 2

## 2. SETTING THE CONTEXT

### 2.1 DEMOGRAPHICS & GROWTH

The Village of Radium Hot Springs is a BC Resort Municipality as per the province's Resort Municipality Initiative. Even among resort municipalities, the Village is exceptional because of its large proportion of vacation homes, which comprises approximately half of all dwelling units. The Resort Municipality nature of the Village creates some interesting demographic data and makes growth and population forecasting more challenging.

Here are some quick facts about Radium Hot Springs:

- The 2021 Census population was 1339 while the total number of dwelling units was 1366.
- The number of permanent households in the 2021 Census was 635.
- Approximately 50% of the dwelling units are single-detached.
- 55% of homes have 3 or more bedrooms.
- 77% of households have 1 or 2 persons.

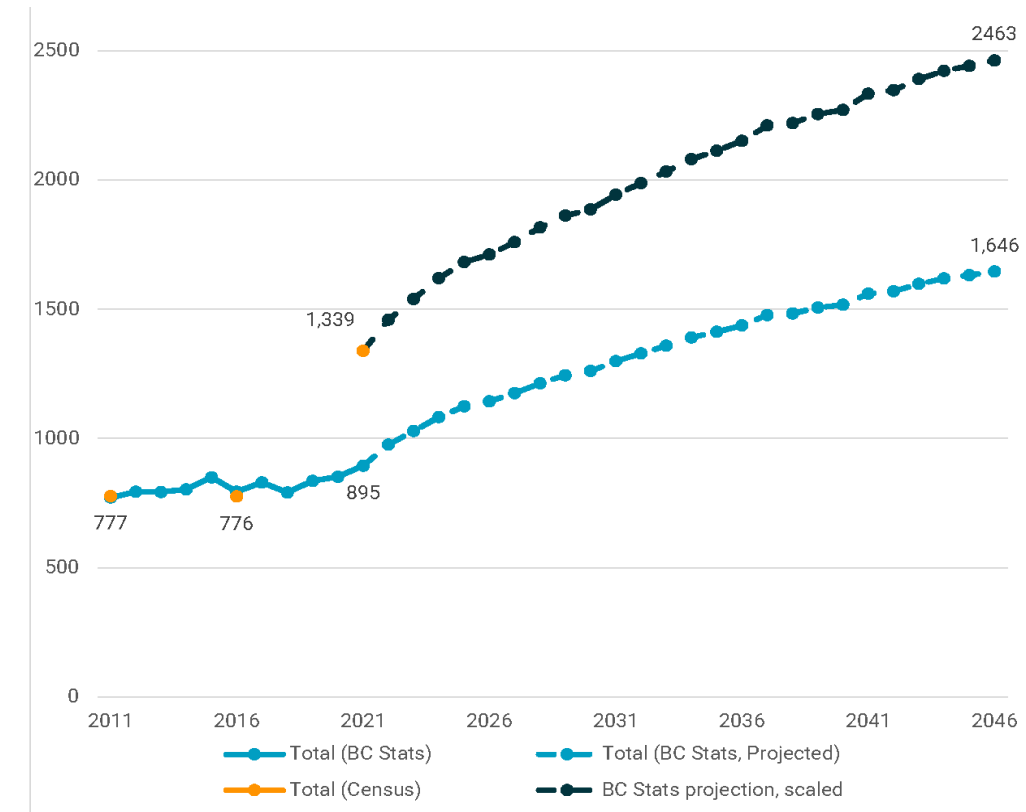
- Radium Hot Springs' permanent population is anticipated to double by 2046.

### POPULATION PROJECTIONS

The Housing Needs Report (2024) included population projections to assess the housing needs of the Village. The results showed a potential of a doubling of the permanent population by 2046 (see **Figure 2**).

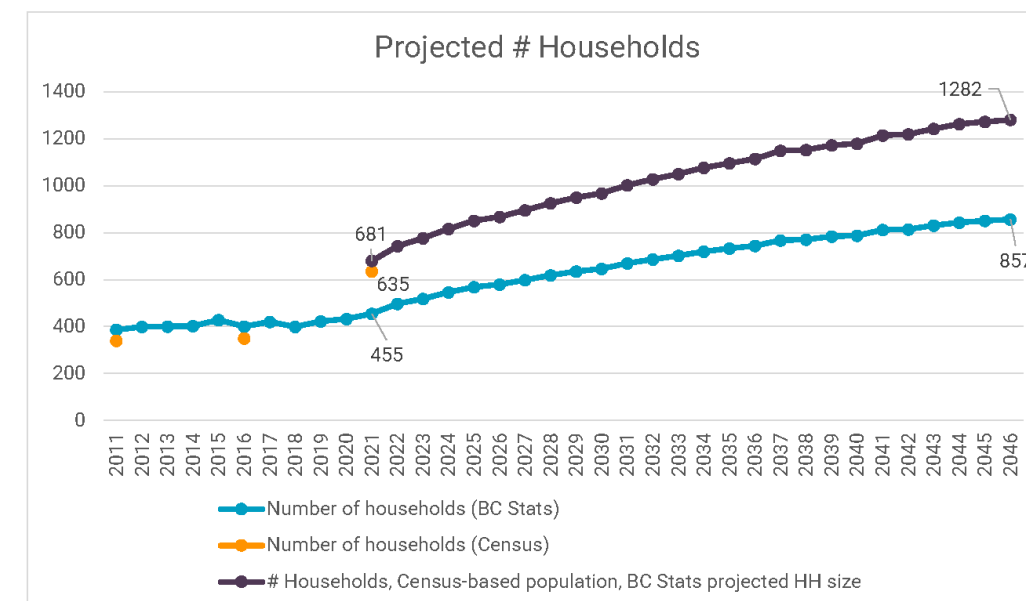
**Figure 2** shows both the estimated permanent population growth (blue line) and the total population (black line) based on BC statistics population projections and Statistics Canada 2021 Census data.

**Figure 3** shows similar growth projections, but in the number of permanent households. Note the vacation homes have not been included in **Figure 3** data, since the Census data is for "private dwellings occupied by usual residents". This is assumed to be households with permanent or long-term Village residents.



Source: BC Statistics Population Projections and Statistics Canada Census 2021

**FIGURE 2: PROJECTED POPULATION**



Source: Derived from BC Stats Population Projection and Statistics Canada, Census 2021

**FIGURE 3: PROJECTED HOUSEHOLDS**



HOUSING STATISTICS

Radium Hot Springs’ housing mix and household composition is similar to many small villages in a rural setting. The housing is predominately single-detached with small households of 1 to 2 people that are likely to be over the age of 50 years old.

However, that does not convey the whole picture for the Village. Compared to similar municipalities, the Village has a higher percentage of attached housing (townhouses and apartments) and it has a wide diversity of housing types to serve the spectrum of residents, from short-term to long-term.

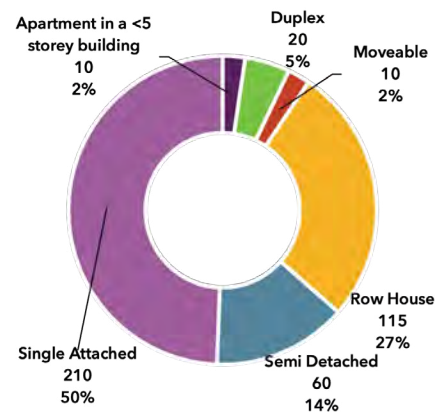


FIGURE 4: HOUSE TYPE BY STRUCTURE

Figure 4 shows the breakdown of housing types for private dwellings occupied by usual residents (i.e. permanent residents). It shows 64% of residents live in a single-detached or semi-detached dwelling. However, we also know there’s a large number of apartments in Radium Hot Springs that are owned and operated as vacation homes and are not accounted for in this data. Thus, the overall housing mix in the Village is greater than what is shown and those vacation owners may convert to permanent residents over time.

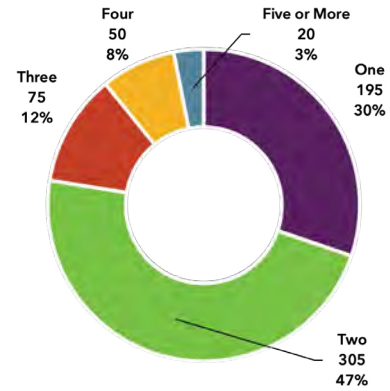


FIGURE 5: HOUSEHOLD SIZE

Figure 5 shows the majority of permanent households have one or two persons. Combined with the data that the Village’s average age is 47.5 (BC is 43.1), the data suggests an aging population of retirees or those near retirement with few dependents living at home.

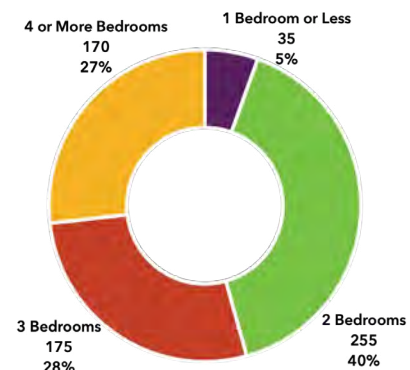


FIGURE 6: NUMBER OF BEDROOMS PER UNIT

Figure 6 shows that 55% of dwellings with permanent residents have 3 or more bedrooms.

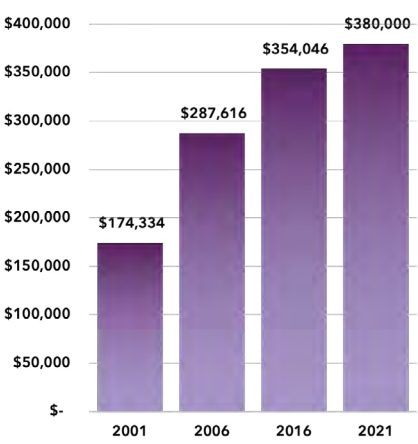
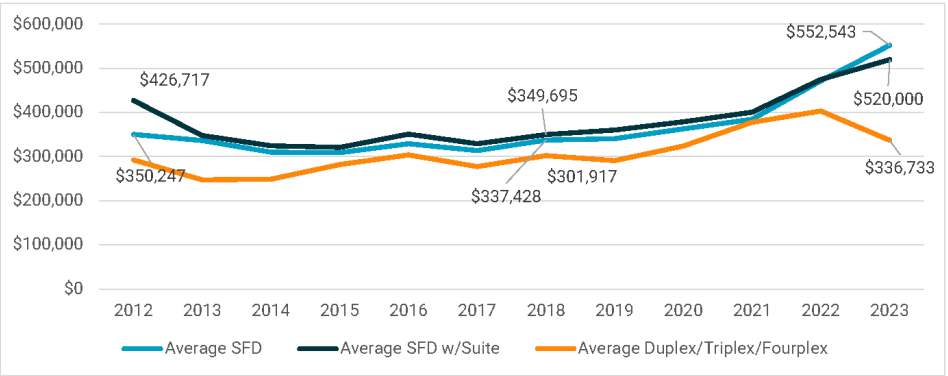


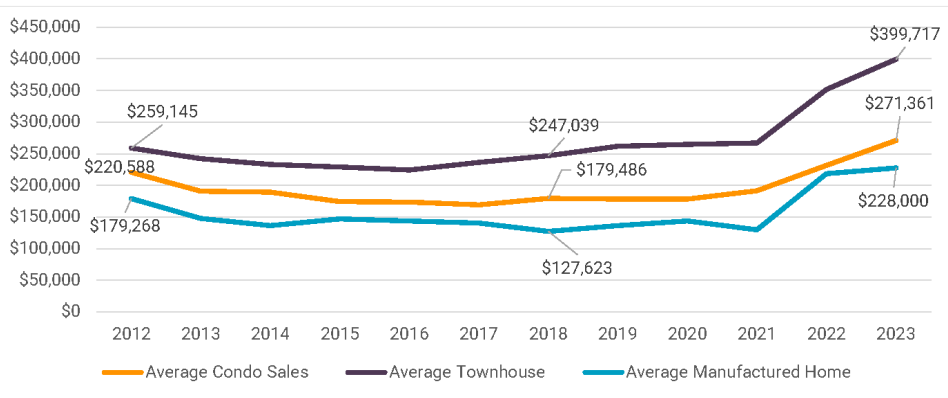
FIGURE 7: HOUSING PRICES OVER TIME

Figure 7: Housing Prices Over Time identifies how housing prices have risen sharply from 2001 to 2021 in the Village, with a more than doubling in price in this time period **Figure 7**. This is further explained by recent data from BC Assessment, showing how prices have risen in different housing types (see **Figure 8** and **Figure 9**). Average sales prices for single-family dwellings (SFD) have risen more sharply since 2012 than prices for a **Duplex**, **Triplex** or **Fourplex**. For condos, townhouses and Manufactured Homes, average sales prices climbed the most for townhouses followed by condos. (see **Figure 9**).



Source: BC Assessment, Assessment Roll, 2012-2023

FIGURE 8: AVERAGE SALES PRICE 1-4 UNITS 2012-2023



Source: BC Assessment, Assessment Roll, 2012-2023

FIGURE 9: AVERAGE SALES PRICE MULTI-UNITS 2012-2023



2

## 2.2 FUTURE HOUSING NEEDS

Housing is a core human need. Access to a diversity of safe and affordable housing is one of the guiding principles of this Community Plan. Having adequate housing is critical to an individual's physical and emotional needs and directly correlates to having a healthy community. Further, as a primary tourism economy with associated modest wages, housing choice, affordability, and availability are critical for local businesses to be able to find and retain workforce.

The *Local Government Act* requires that every municipality complete an interim housing needs report identifying housing needs for each of the next 5 and 20 years. Interim housing needs reports were due at the end of 2024 with full reports due in 2028, and every five years thereafter. The results of the housing needs report must then be integrated into the municipality's Official Community Plan and Zoning Bylaw.

The Village completed its *Interim Housing Needs Report* in July 2024 using the provincial standard methodology. The standard methodology ensures that all housing needs reports follow the same mathematical calculations and assumptions. The methodology separates housing needs into five categories plus a demand buffer. The five housing needs categories are:

1. Supply to Reduce Extreme Core Housing Need
2. Supply to Reduce Homelessness
3. Supply to Reduce Suppressed Household Formation
4. Supply to Meet Household Growth
5. Vacancy Rate Adjustment

The following is a summary of the report's key findings.

### 5 YEAR HOUSING NEEDS

The five-year housing needs (2023-2028) indicates the Village requires 106 new dwelling units. More specifically, there is a need for 38 owned and 55 rented housing units. Table 1: 5 Year Housing Needs outlines identified housing needs by category.

TABLE 1: 5 YEAR HOUSING NEEDS			
CATEGORY	5-YEAR HOUSING NEED		
	OWNED	RENTED	TOTAL
A. Supply to reduce extreme core housing need	0	2	2
B. Supply to reduce homelessness	2		2
C. Supply to reduce suppressed household formation	8		8
D. Supply to meet household growth	38	51	89
E. Vacancy rate adjustment	1		1
F. Demand Buffer	4		4
Total Units Needed	38	55	106



106  
DWELLING UNITS  
NEEDED BY 2028

### 20 YEAR HOUSING NEEDS

Looking ahead 20 years (2023-2043) the Village is estimated to need 406 new dwelling units. In comparison to the five-year statistics, the 20-year housing needs data does not estimate owned and rented units needed.

TABLE 2: 20 YEAR HOUSING NEEDS	
CATEGORY	TOTAL
A. Supply to reduce extreme core housing need	7
B. Supply to reduce homelessness	5
C. Supply to reduce suppressed household formation	31
D. Supply to meet household growth	343
E. Vacancy rate adjustment	3
F. Demand Buffer	17
Total Units Needed	406



406  
DWELLING UNITS  
NEEDED BY 2043

### HOW WILL THE VILLAGE MEET ITS HOUSING NEEDS?

Housing is a complicated challenge and there will not be a single solution. As shown in *Figure 10*, there is a range of housing types, from safety net to supported housing to market housing. A healthy community provides a wide range of different types of housing around the wheel.



FIGURE 10: HOUSING WHEEL

This Community Plan emphasizes a series of solutions to address the Village's diverse housing needs. This next section of the Plan and *Table 3: Housing Solutions* summarize how this Community Plan addresses housing needs in Radium Hot Springs over the next 20 years.



HOUSING SOLUTIONS

The policies within this Community Plan direct the Village towards a series of housing solutions that will pursue addition of greater diversity to the Village’s housing supply. Furthermore, each solution supports the overall vision for a more full-time community.

Solution 1: Infill Vacant Lots

There are numerous zoned and serviced vacant lots within the Village that can be readily developed to provide added housing. The Village has already created incentives for infilling vacant lots for rental housing with the [Long-Term Rental Housing Revitalization Tax Exemption Program Bylaw No. 497, 2023](#).

Anticipated new units over 20 years: 75

Solution 2: Enable increased housing diversity.

Residential lots within existing residential areas will be enabled to build +1 more housing units per lot: two-units on traditional R1 lots, three-units on R2 lots, and four-units on lots near the Downtown.

Anticipated new units over 20 years: 65 (50 additional units on vacant lots, 15 new units on redeveloped properties)

Solution 3: Add minimum density to the Village’s R4 zoning.

The current R4 Multi-Unit Residential zone has no minimum density and lots zoned R4 are building out with only single-detached dwellings.

Anticipated new units over 20 years: 40

Solution 4: Develop and require minimum density in future residential areas, now called Comprehensive Planning Areas.

This Community Plan identifies the Village’s future residential areas that are unsubdivided and undeveloped as Comprehensive Planning Areas. To ensure the Village meets its housing

needs, these areas must accommodate a minimum number of housing units. Policies within this Plan and zoning bylaw amendments will ensure this is implemented.

Anticipated new units over 20 years: 300

Solution 5: Regulate [Short-Term Rentals](#).

The Village currently has over 100 licensed [Short-Term Rentals](#), many of which are hosted in dwelling units that may be suitable for long-term residents. This Community Plan, and accompanying amendments to the Village’s Zoning Bylaw and Business License Bylaw, will regulate Stand-Alone [Short-Term Rentals](#) by identifying preferred (commercial) areas to locate in. By directing Stand-Alone [Short-Term Rentals](#) to commercially zoned areas within the Village, it is anticipated that new housing units will become available to permanent residents in residentially-zoned areas.

Anticipated new units over 20 years: 25

TABLE 3: HOUSING SOLUTIONS	
SOLUTION	ANTICIPATED UNITS
1. Infill vacant lots	75
2. Allow increased housing diversity	65
3. Add minimum density to R4 Zoning	40
4. Develop and require minimum density in future residential areas	300
5. Regulate <a href="#">Short-Term Rentals</a>	25
Total Units	505
Total 20-year housing need	406
Anticipated buffer	99

These housing solutions provide a pathway that successfully meets projected doubling of the permanent population by 2046.

SECTION 3

3. ADAPTING & PROTECTING

The natural environment in Radium Hot Springs is special, and is the quality of life and why people love to visit and call Radium Hot Springs home. Policies in this Plan that protect and conserve the natural environment are therefore deeply meaningful as a legacy for future generations.

Climate change is impacting all aspects of modern life and the Village must be resilient in its adaptation to a future with more severe and unpredictable weather. The Village faces climate change related challenges that must be

addressed, including: long-term water supply, flood risk, and wildfire risk.

As shown on [Map 1: Environmental Assets](#) the Village has many amazing environmental features, including streams and [Riparian Areas](#), wildlife movement and habitat areas, and the Columbia River wetlands. The Columbia River Valley and its associated wetlands are globally recognized for their ecological significance, and the Village endeavours to do its part in supporting their continued function.

3.1 NATURAL ENVIRONMENT

OBJECTIVES

- Objective 1:** Reduce impacts of development on the community and environmental lands.
- Objective 2:** Protect and rehabilitate riparian areas.
- Objective 3:** Address and mitigate climate change challenges, including flood risk, wildfire risk, and

- increased number of extreme heat days.
- Objective 4:** Reduce wildlife conflicts through education and regulation.



POLICIES

- 3
- 3.1.1.

Maintain existing “*Riparian Areas*” in their naturalized states, and discourage development or land uses that will negatively impact their ecological function.
- 3.1.2.

Protect sensitive environmental areas (e.g. creeks, streams, rivers, *Riparian Area*) through Development Permit Areas.
- 3.1.3.

Where practical, discourage the use of chemical fertilizers, pesticides and herbicides, and promote the use of environmentally-friendly alternatives to protect water and ecosystems, and support naturalized yards.
- 3.1.4.

Encourage the use of drought-tolerant and native plant species in landscaping to reduce water consumption and mitigate wildfire risk.
- 3.1.5.

Support water conservation strategies, including investigating the feasibility of water metering systems, to protect and preserve local water resources for current and future generations.
- 3.1.6.

Support the installation of water reduction technologies that comply with the BC Building Code requirements.
- 3.1.7.

Partner with the *Ministry of Transportation & Transit (MOTT)* to investigate opportunities to improve the ecological connections of Sinclair Creek and Sinclair Canyon under Highway 95, including:

a)

Potential wildlife underpass and expanded ecological connectivity; and

b)

Addressing Canyon Campground flood risk.
- 3.1.8.

Continue to educate the community about securing their property from outdoor wildlife attractants through:

a)

Developing a *WildSafeBC Guide*

- for residents to educate them on how to be “*WildSafe*”, including discouraging the planting of fruit trees within the Village;

b)

Making *WildSafeBC* materials publicly available at community locations such as the Village office, grocery store, post office, and Village Centre
- 3.1.9.

Consider a *Dark Sky* policy to encourage the installation and replacement of outdoor lights to direct light down, and to reduce light pollution that negatively affects bird migration and human circadian rhythm.
- 3.1.10.

Continue to balance community safety, energy, and *Dark Sky* preservation in the selection and installation of new and upgraded street lighting infrastructure.
- 3.1.11.

Encourage the reduction of noise impacts on animal welfare and migration from industry, transportation, and other human uses.
- 3.1.12.

Restrict fencing that impedes wildlife movement corridors and natural habitat connectivity throughout the community.
- 3.1.13.

The Village should create an *Invasive Species* Management Plan and treatment program.
- 3.1.14.

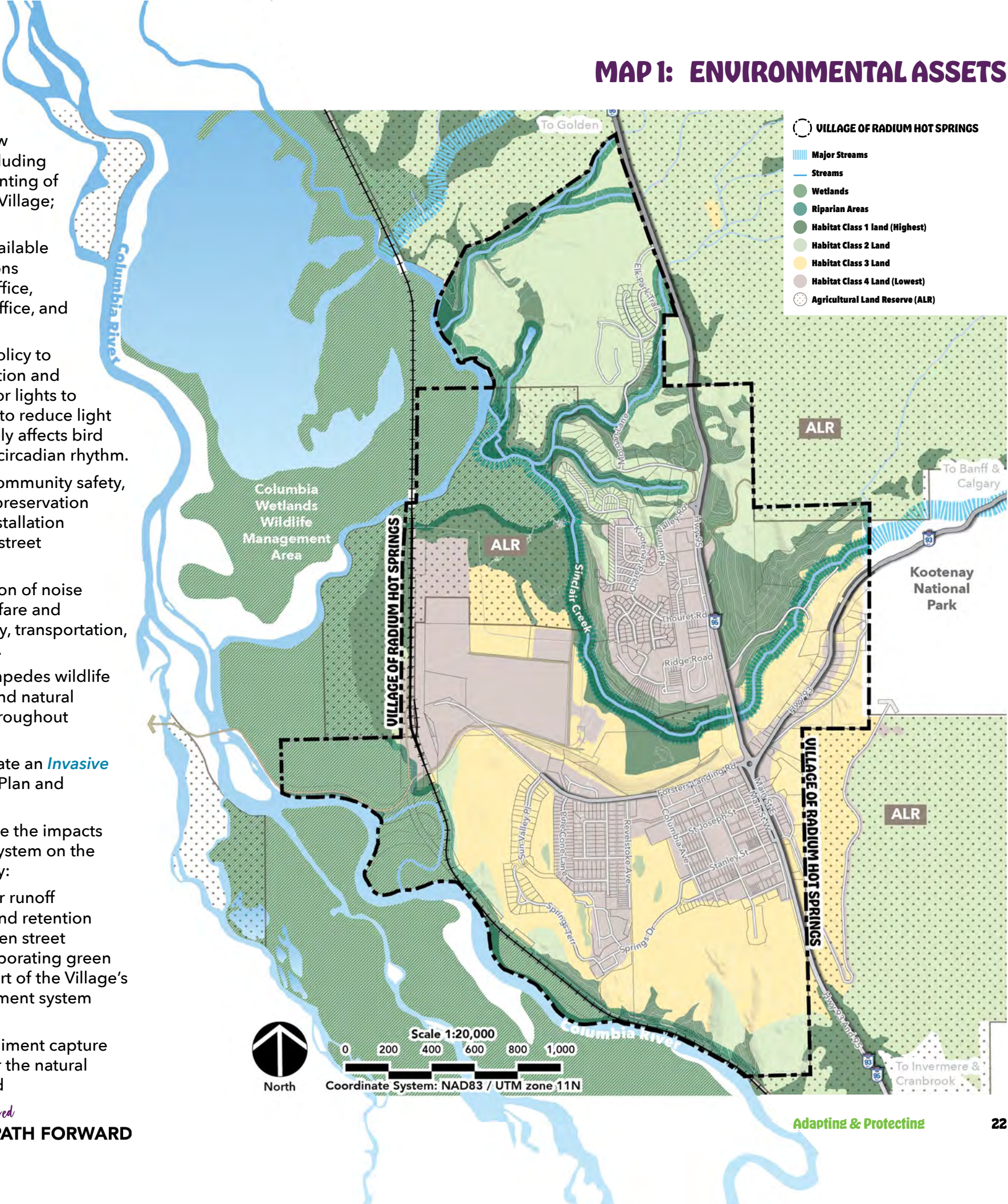
Where practical, reduce the impacts of the transportation system on the natural environment by:

a)

Reducing stormwater runoff through infiltration and retention by incorporating green street standards, and incorporating green infrastructure as a part of the Village’s stormwater management system to achieve:

i)

Pollutant and sediment capture before they enter the natural environment; and





MAP 2: WILDFIRE THREAT

- ii) Lower stream temperatures to protect fish and aquatic species habitat.
- b) Providing wildlife passages, such as appropriately-sized culverts, underpasses or overpasses where feasible along wildlife corridors to connect critical habitat; and
- c) Altering the design of roads and trails where feasible to protect *Environmentally Sensitive Area(s) (ESA)*.

- 3.1.15. Acknowledging that wildfire protection is paramount, the Village should, where possible, recognize the value of urban leafy trees to store carbon, reduce water run-off, buffer windstorms and mitigate summer heating impacts by encouraging leafy tree planting and retention.
- 3.1.16. Continue to build relationships and partner with local, provincial, and federal conservation, preservation, and restoration groups including government ministries, agencies, non-profits, and private landowners.
- 3.1.17. Provincial and federal environmental regulations are recognized and applicable within the Village boundaries.

3.2 WILDFIRE RISK INTRODUCTION

Wildfire is a risk for the Village of Radium Hot Springs. The Village has completed a *Community Wildfire Resiliency Plan (2024)*.

OBJECTIVES

**Objective 5:** Protect the community from wildfire risk.

3.3 GREENHOUSE GAS REDUCTIONS

INTRODUCTION

The *Local Government Act* requires that all OCPs have policies and actions with targets for the reduction of greenhouse gas emissions.

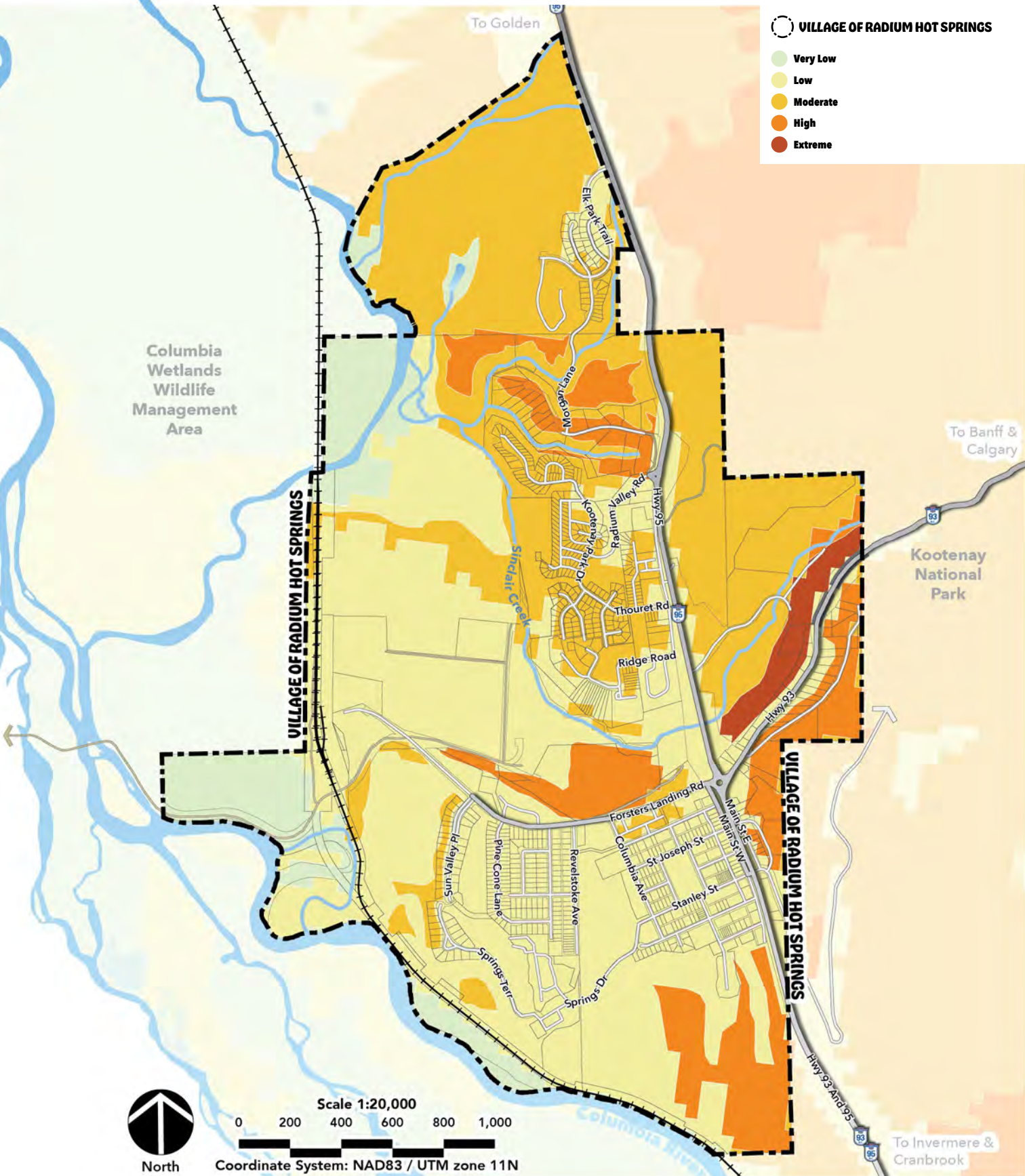
OBJECTIVES

POLICIES

- 3.2.1. The Village should follow the recommendations within the *Community Wildfire Resiliency Plan (2024)*.
- 3.2.2. The Village should update the *Community Wildfire Resiliency Plan (2024)* every 5-10 years.
- 3.2.3. Require all developments to follow wildfire risk reduction principles and design in accordance with the *Wildfire Development Permit Area*.

- Objective 6:** Reduce GHG emissions throughout the community.
- Objective 7:** Building energy efficiency: increase the energy efficiency of existing and future buildings.

POLICIES





- 3.3.1. Reduce GHG Emissions by 2030 by encouraging the following:
  - a) Where practical, replacement of conventional passenger vehicles with electric vehicles (EVs) as fleet is replaced;
  - b) Reduction of vehicle use by avoiding the need or shifting kms traveled to [Active Transportation](#);
  - c) Retrofitting of buildings to achieve a reduction in energy use; and
  - d) Adoption of zero or low-carbon heating systems.
  - e) Use of low embodied carbon building products where practical - i.e. encouraging wood-based construction elements.
- 3.3.2. Follow through with the Village's commitments as a signatory to the [B.C. Climate Action Charter](#).
- 3.3.3. Support and encourage adequate electrical servicing throughout neighbourhoods to support the expansion of EV charging throughout the community and at home.
- 3.3.4. Retrofit existing municipal buildings to achieve a 33% energy use reduction.
- 3.3.5. New buildings should adopt zero or low-carbon heating systems.
- 3.3.6. Increase energy efficiency requirements for new buildings to meet or exceed the [BC Energy Step Code](#).
- 3.3.7. Adopt a voluntary standard for retrofitting older buildings to improve energy efficiency.
- 3.3.8. The Village supports energy-efficient infill development and intensification of currently serviced areas that are located within walking/biking distance to stores, services and amenities.
- 3.3.9. Encourage the adaptive reuse of buildings to help reduce construction waste.
- 3.3.10. Encourage the development of

compact, Mixed-Use neighbourhoods, where appropriate, and support transit use, walking, cycling, car sharing and low- emission vehicles.

- 3.3.11. Explore regional efforts at renewable energy, including solar, wind, and geothermal.
- 3.3.12. Identify areas in the Village that may be suitable for solar energy collection.
- 3.3.13. Encourage and promote the implementation of BC's Climate Action Charter in order to reduce GHG emissions and protect the natural environment.

# SECTION 4

## 4. LAND USE STRATEGY

### 4.1 FUTURE LAND USE

The Village's land use and growth strategy strives to create a logical pattern of land use for future development that will help achieve the vision for an authentic, connected, full-time, beautiful, walkable and inclusive Village.

[Map 3: Land Use](#) outlines the Village's future land use strategy and is intended to guide day-to-day decision-making at the Village, including development and rezoning applications, infrastructure investment, and other Village policy and spending. Each land use has associated policies that can be found in [Section 4](#) of the Plan.

It is recognized that in some cases, the designated land use on [Map 3: Land Use](#) may differ from zoning. This is intentional, since [Map 3: Land Use](#) represents a future vision.

### VILLAGE-WIDE OBJECTIVES

**Objective 8:** Support housing diversity throughout the Village, including affordable and

rental housing.

**Objective 9:** Focus commercial growth in the Downtown and along Highway 93.

**Objective 10:** Improve access to amenities in all neighbourhoods.

**Objective 11:** Infill vacant lots that are fully serviced.

**Objective 12:** Plan for a future impacted by climate change by encouraging compact, energy-efficient development.

**Objective 13:** Use the Village's limited land supply efficiently by promoting increased residential density where appropriate.

**Objective 14:** Protect the Village and its development pattern from hazards, including flooding, wildfire, and slope failures.



## 4.2 LAND USE PLANNING

Land use planning and land use maps play a crucial role in community planning by organizing and guiding the development of different areas within a community. These tools are important because they help ensure that the land is used in a thoughtful and sustainable manner to meet the needs of the community both now and in the future.

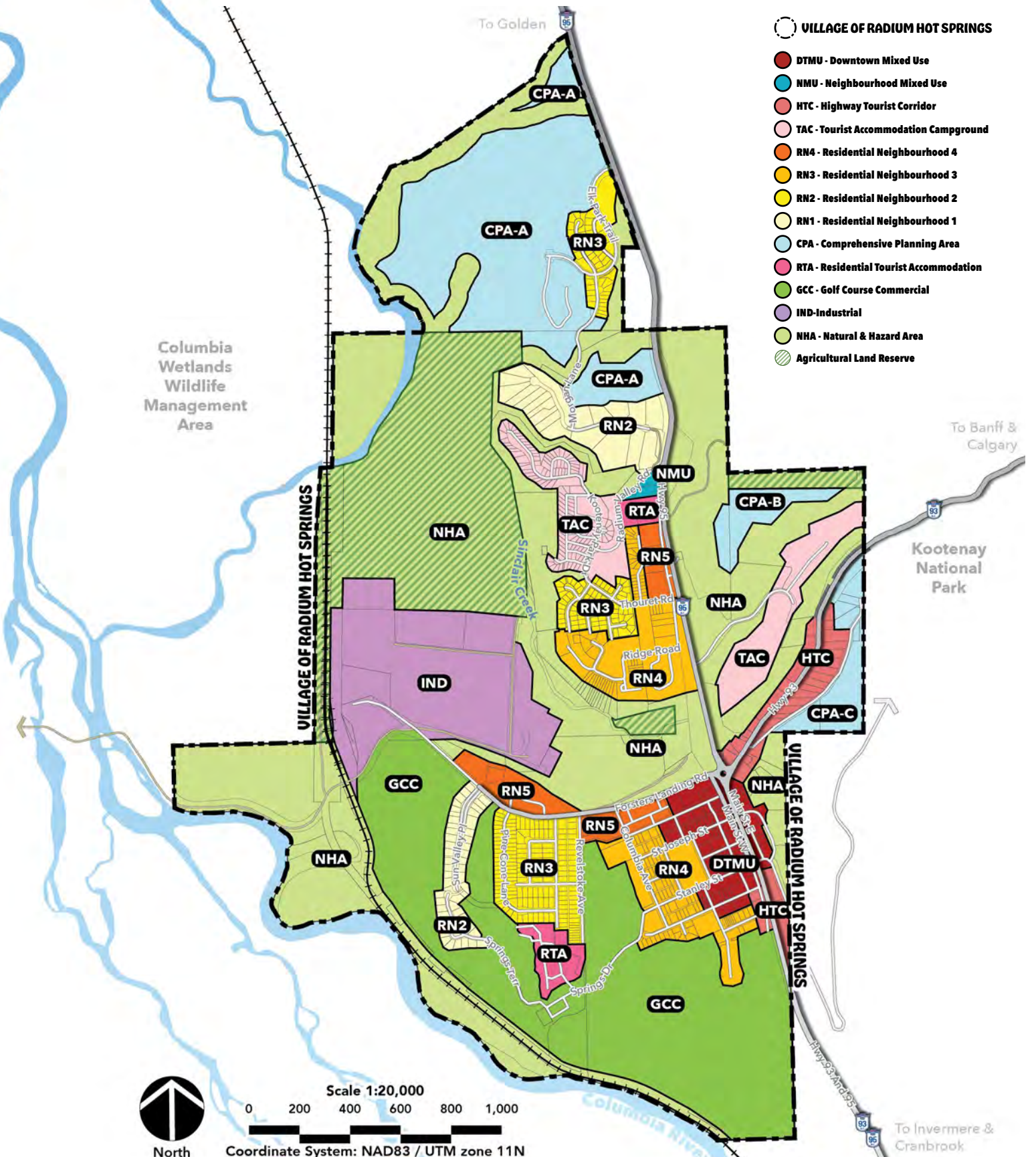
A land use map categorizes different areas of land for specific uses such as Mixed-Use, commercial, residential, industrial, and natural lands. This categorization helps in creating a cohesive and functional community where different types of land uses complement each other. For example, residential areas are located near commercial areas for easy access to goods and services, while natural lands are preserved for environmental conservation and recreational purposes.

By envisioning what the community should look like in the future, land use planning takes into account factors such as population growth, economic development, environmental conservation, and transportation needs. It helps in creating a balance between urban development and preservation of natural areas, ensuring that the community remains sustainable and livable for its residents.

### VILLAGE-WIDE LAND USE POLICIES

**4.2.1.** The Village's decision-making as it relates to land use planning and development applications, including rezoning applications shall be guided by **Map 3: Land Use**.

- 4.2.2.** Land Use areas on **Map 3: Land Use** are intended to be generally delineated and not exact. Where a land use area does not follow a property boundary the area is meant to be approximate and minor discrepancies between **Map 3: Land Use** and a zoning or development application is acceptable.
- 4.2.3.** Future development applications should be consistent with any Master Plans prepared as a part of this Community Plan.
- 4.2.4.** The Village should do its part to ensure there is sufficient housing supply to meet the Village's growth needs for the next 20 years by undertaking the following:
- Regularly updating the Housing Needs Report in compliance with provincial legislation;
  - Ensuring Master Plans, subdivision and development applications meet any minimum density requirements of this Plan;
  - Incentivizing affordable and rental housing;
  - Amending the Community Plan as needed to ensure there is sufficient available residential land for construction; and
  - Creating and maintaining a system for tracking, reporting, and monitoring the supply and demand of housing and residential land within the Village.





- 4.2.5.** Village infrastructure planning and spending should ensure there is sufficient capacity for water, sewer and transportation systems for infill and redevelopment at the densities outlined in this Plan and the Zoning Bylaw.
- 4.2.6.** Village infrastructure spending should be aligned with the growth directions of this Plan, specifically:
- a) Focusing commercial and Mixed-Use growth in key areas (i.e. Downtown and Highway 93);
  - b) Infilling vacant lots;
  - c) Adding housing diversity; and
  - d) Ensuring comprehensive planning for the Village's undeveloped areas.
- 4.2.7.** Developments will be required to complete pathway, sidewalk or trail network connections from new areas to existing pedestrian networks.

## VILLAGE-WIDE DESIGN POLICIES

Basic design principles are important to preserve Radium Hot Springs' character as a key mountain destination for residents and tourists. Quality design of buildings and sites adds to the positive feeling and character of the Village, which in turn promotes local pride and generates economic activity.

The following design policies apply to all areas of the Village and aim to enhance the quality of development. Developers and builders are expected to adhere to these policies when they design and construct within Radium Hot Springs.

- 4.2.8.** Require all buildings to face or front onto the primary access road.
- 4.2.9.** Require all buildings to have a main entry that is clearly identifiable and that faces a public street.
- 4.2.10.** Limit block lengths and ensure that access to adjacent blocks (roads, sidewalks or pathways) is provided at least every 200m.
- 4.2.11.** New street and block layouts should attempt to create an interconnected road network with more than one road access to all properties.



## 4.3 DOWNTOWN MIXED-USE

### INTRODUCTION

The Radium Hot Springs Downtown is a welcoming place for locals and travelers. The Downtown is full of opportunities to shop, dine, drink, socialize, and stroll around with beautiful views of the surrounding Columbia Valley and Rocky Mountains. The Downtown also has unique amenities, such as the Parks Canada visitor centre and the Stations of the Cross associated with the adjacent St. Joseph's Catholic Church. The Downtown bustles and bursts in the summer months followed by a slower time when the weather gets colder.

Business viability and expansion is deeply connected to demand generated by both permanent population and year-round vibrancy. To accomplish this the land use strategy in this Plan promotes a broad range of commercial and Mixed-Use development in the Downtown, including overnight accommodations and *Short-Term Rentals*, shops, restaurants and pubs, craft and artisan manufacturing, and other businesses that will continue to make Radium Hot Springs feel human-scale and unique.

Community engagement feedback strongly favoured focusing commercial areas within the existing Downtown and Highway 93, and not expanding it beyond what can be viably sustained. This direction is embedded in the policies.

### INTENT

The land use strategy and related policies focus on maintaining the Downtown as the Village's primary commercial centre. The Village welcomes mixed-buildings and infilling of vacant lots with multi-storey buildings that have an active street presence. The Downtown should be walkable with plenty of sidewalks, pathways, public space, and inspired building and space design.



# OBJECTIVES

- Objective 15:** Serve as the Village’s central commercial area.
- Objective 16:** Infill vacant lots to add vibrancy and additional commercial and mixed-use opportunities.
- Objective 17:** Create visual and physical connections between the Village’s Main Park and the Downtown.
- Objective 18:** Attract new investment and be a preferred location for *Short-Term Rentals*.
- Objective 19:** Enhance Downtown architectural quality through clear urban design guidelines.
- Objective 20:** Ensure Downtown is walkable in all areas with a complete network of sidewalks and pathways.

# APPLICABILITY

The following policies apply to lands identified as “DT - Downtown” on *Map 3: Land Use*.

# POLICIES

- 4.3.1.** The DT - Downtown should have the following mix of land uses: commercial, institutional, recreational and residential uses.
- 4.3.2.** The DT - Downtown is a permitted location for *Short-Term Rentals*.
- 4.3.3.** Ground floor uses should be customer or patient-oriented uses, such as commercial, medical services, or civic uses, with residential or offices located on upper floors.
- 4.3.4.** The DT - Downtown should be a high-priority for public investment in infrastructure and public amenities.
- 4.3.5.** Residential uses should be complementary to the commercial and institutional character of the DT - Downtown in the form of upper

storey apartments, townhouses and/or *Live-Work* units.

- 4.3.6.** Residential uses in the DT - Downtown are preferred to be in the form of residential dwellings on upper floors of a Mixed-Use Building. However, where a building is only residential use it shall:
  - a)** Be in the form of a higher-density residential (e.g. 2 storeys or greater);
  - b)** Have a minimum of two dwelling units; and
  - c)** Not be in the form of single-detached residential.
- 4.3.7.** The Village will encourage the activation of rear lanes and the back of buildings to allow for additional commercial opportunities and the beautification of DT - Downtown, including the use rear lanes for food trucks or a food pod.
- 4.3.8.** Developments shall incorporate a high standard of urban and architectural design as per Development Permit Area policies in this Plan.
- 4.3.9.** The Village should continue to redevelop DT - Downtown streets to be *Complete Streets* that include:
  - a)** Street trees and boulevards;
  - b)** On-street parking opportunities;
  - c)** Wide and accessible sidewalks;
  - d)** Bike lanes and bike racks;
  - e)** Street furniture (e.g. benches, garbage and recycling bins);
  - f)** Wayfinding signage;
  - g)** Public spaces and amenities; and
  - h)** Safe and efficient vehicular movement.
- 4.3.10.** The Village should implement strategies for the attraction and retention of businesses in the DT - Downtown.
- 4.3.11.** Allow credit for on-street parking spaces to count towards overall parking requirements.



# 4.4 HIGHWAY TOURIST CORRIDOR

# INTRODUCTION

The Highway 93 east entrance to Radium Hot Springs is memorable - driving past the hot pools and through Sinclair Canyon and then entering a built-world full of uniquely designed motels before finally glimpsing the wide expanse of the Columbia Valley.

The Village recognizes the placemaking importance and compelling investment opportunity of the Highway 93 area and it has been designated as the Highway Tourist Corridor in this Plan on *Map 3: Land Use*. Buildings have aged on the Highway 93 corridor and redevelopment is likely to occur in the coming years. The Village wishes to guide re-investment to ensure there’s always a special feeling as people arrive or stay in this area of Radium Hot Springs, while also implementing policy that nurtures successful business re-investment models..

# INTENT

The intent of the Highway Tourist Corridor is to guide and direct future redevelopment of the area as a vibrant tourist destination with unique architecture and a mix of tourist accommodations and commercial opportunities.

# OBJECTIVES

- Objective 21:** Continue to be a regional and global destination for overnight accommodations in the Rocky Mountains and Columbia Valley.
- Objective 22:** Infill vacant lots to add vibrancy and additional overnight accommodations, commercial and mixed-use opportunities.
- Objective 23:** Attract new investment and be a preferred location within the Village for *Short-Term Rentals*.
- Objective 24:** Enhance architectural quality through clear urban design guidelines.
- Objective 25:** Ensure residents and tourists along the Highway Corridor can safely walk to the hot pools and Downtown.



APPLICABILITY

The following policies apply to lands identified as "HTC - Highway Tourist Corridor" on **Map 3: Land Use**.

POLICIES

- 4.4.1. The Highway Tourist Corridor should have the following mix of land uses: commercial, institutional, and recreational land uses.
- 4.4.2. The Highway Tourist Corridor is a permitted location for **Short-Term Rentals**.
- 4.4.3. New buildings shall be a minimum of two storeys.
- 4.4.4. The Highway Tourist Corridor should be a high-priority for public investment in infrastructure and public amenities.

- 4.4.5. Developments shall incorporate a high standard of urban and architectural design as per Development Permit Area policies in this Plan.
- 4.4.6. The Village should implement strong sign regulations within the Highway Tourist Corridor to minimize sign clutter and ensure overall coherence to the signs that are visible.
- 4.4.7. The Village shall continue to work with the provincial **Ministry of Transportation & Transit (MOTT)** on safety strategies for vehicles and active transportation on Highway 93.
- 4.4.8. The Village should always ensure there is high-quality public information and wayfinding signage along Highway 93 as it is the eastern gateway to the Village.



4.5 NEIGHBOURHOOD MIXED-USE

INTRODUCTION

Convenience is important for citizens and neighbourhood Mixed-Use areas provide an opportunity to meet some daily needs within walking distance of home. These small scale commercial or Mixed-Use developments can fit seamlessly into a neighbourhood without detracting from the commercial vibrancy of Downtown. There is one neighbourhood Mixed-Use area identified in the Plan.

INTENT

The intent of the Neighbourhood Mixed-Use area is to provide additional commercial opportunities close to where people live without drawing away from the Village’s major commercial areas (Downtown and Highway 93). Neighbourhood Mixed-Use areas should stay small and focus on serving daily needs of the residents within walking distance.

OBJECTIVES

- Objective 26:** Provide opportunities for people to walk for their daily commercial needs.
- Objective 27:** Encourage mixed-use developments in suitable locations where vehicle and pedestrian connections are sufficient.
- Objective 28:** Ensure neighbourhood commercial areas are sized appropriately to minimize competition with Downtown and Highway 93.

APPLICABILITY

The following policies apply to lands identified as "NMU - Neighbourhood Mixed-Use" on **Map 3: Land Use**

POLICIES

- 4.5.1. The Neighbourhood Mixed-Use area should have the following mix of land uses: commercial, residential, institutional, and/or recreational land uses.
- 4.5.2. The Neighbourhood Mixed-Use area is a permitted location for **Short-Term Rentals**.
- 4.5.3. The preferred building form in the Neighbourhood Mixed-Use area is a Mixed-Use Building with retail uses on the ground floor and offices or residential on upper floors. Built form could also consist of a series of stand-alone work-live units with commercial on the ground floor.
- 4.5.4. Neighbourhood Mixed-Use areas should be supported by a strong pedestrian network of pathways or sidewalks.
- 4.5.5. New buildings shall be a minimum of two storeys.
- 4.5.6. Developments shall incorporate a high standard of urban and architectural design as per Development Permit Area policies in this Plan.





## 4.6 TOURIST ACCOMMODATION CAMPGROUND

### INTRODUCTION

The Village is home to a variety of campground type accommodations. These areas are specifically designed for short-term overnight accommodations and come in different forms, including RV camping and park models.

### INTENT

The intent of the Tourist Accommodation Campground land use is to continue to provide campgrounds with the opportunity to use their land suitably for short-term overnight campground style accommodations.

### OBJECTIVES

**Objective 29:** To support the continued use of existing campgrounds in the Village.

### APPLICABILITY

The following policies apply to lands identified as "TAC - Tourist Accommodation Campground" on **Map 3: Land Use**.

### POLICIES

**4.6.1.** The Tourist Accommodation Campground area should be primarily for short-term or seasonal overnight campground style accommodations and associated recreational land uses. Small-scale commercial uses that serve campground guests are permitted.

**4.6.2.** The Village discourages the creation of new campgrounds in the Village.

**4.6.3.** Where pathway or sidewalk connections are located nearby the properties, campgrounds should provide connections to these pedestrian features.

**4.6.4.** Prior to expansion of any campground area, the proponent shall provide the Village with a **Master Plan** identifying:

- a) Number of sites added on a detailed concept plan with contour lines;
- b) Servicing (water, sewer, electricity) strategy;
- c) Transportation strategy;

and may be required to provide at the discretion of the Village:

- d) Environmental impact studies; and
- e) Technical studies (e.g. geotechnical).

**4.6.5.** Campgrounds should ensure emergency evacuation plans are in place and have been clearly communicated to all visitors.

- a) Campground operators / owners should provide the Village with a copy of any emergency management or evacuation plan, including egress strategies, to ensure proper coordination with Village staff and resources in the time of an emergency.
- b) All campgrounds should have two emergency egress points.



## 4.7 RESIDENTIAL TOURIST ACCOMMODATION

### INTRODUCTION

The Residential Tourist Accommodation area is purpose-built accommodations for tourists and seasonal residents.

### INTENT

The intent of the Residential Tourist Accommodation land use is to continue to enable a variety of purpose-built overnight accommodations for tourists and seasonal residents.

### OBJECTIVES

**Objective 30:** To support the continued use of this area for overnight accommodations in a variety of forms that support tourism in the Village.

### APPLICABILITY

The following policies apply to lands identified as "RTA - Residential Tourist Accommodation" on **Map 3: Land Use**.

### POLICIES

**4.7.1.** The Residential Tourist Accommodation land use should be primarily for overnight accommodations within a variety of townhouse and apartment-style residential buildings.

**4.7.2.** The Residential Tourist Accommodation area is a permitted location for **Short-Term Rentals**.





## 4.8 RESIDENTIAL NEIGHBOURHOOD 2

### INTRODUCTION

The RN2 - Residential Neighbourhood 2 encompasses the Village's lowest density residential areas. These areas were designed as large residential lots and continue to build out, with a significant portion of lots still vacant.

### INTENT

The intent of the RN2 - Residential Neighbourhood 2 is to provide opportunities for lower density residential development for permanent residents within the Village that allows a maximum of two units per lot.

### OBJECTIVES

**Objective 31:** Provide opportunities for lower density residential development for permanent residents while enabling some flexibility.

**Objective 32:** Ensure a diversity of housing within the Village.

### APPLICABILITY

The following policies apply to lands identified as "RN2 - Residential Neighbourhood 2" on **Map 3: Land Use**.

### POLICIES

- 4.8.1.** The RN2 - Residential Neighbourhood 2 land use should have the following mix of land uses: residential dwelling units not exceeding two units per lot and complementary home-based businesses, recreation areas and amenities.
- 4.8.2.** The RN2 - Residential Neighbourhood 2 area is not a permitted location for **Stand-Alone Short-Term Rentals**.
- 4.8.3.** The preferred building form in the RN2 - Residential Neighbourhood 2 is residential dwellings.
- 4.8.4.** RN2 - Residential Neighbourhood 2 areas should be supported by a strong pedestrian network of pathways or sidewalks.

## 4.9 RESIDENTIAL NEIGHBOURHOOD 3

### INTRODUCTION

The RN3 - Residential Neighbourhood 3 includes traditional residential lots in both the north and south parts of the Village.

### INTENT

The intent of the RN3 - Residential Neighbourhood 3 is to provide opportunities for greater housing diversity for permanent residents that enables a maximum of three units per lot.

### OBJECTIVES

**Objective 33:** Provide opportunities for greater housing diversity for permanent residents.

**Objective 34:** Support the continued residential nature of the Village's neighbourhoods.

### APPLICABILITY

The following policies apply to lands identified as "RN3 - Residential Neighbourhood 3" on **Map 3: Land Use**.

### POLICIES

- 4.9.1.** The RN3 - Residential Neighbourhood 3 land use should have the following mix of land uses: residential dwelling units not exceeding three units per lot and complementary home-based businesses, recreation areas and amenities.
- 4.9.2.** Stand-Alone **Short-Term Rentals** are permitted in some RN3 areas as per **Map 4: Stand-Alone Short-Term Rental Areas**.
- 4.9.3.** The preferred building form in the RN3 - Residential Neighbourhood 3 is residential dwellings.
- 4.9.4.** RN3 - Residential Neighbourhood 3 areas should be supported by a strong pedestrian network of pathways or sidewalks.
- 4.9.5.** Rental, affordable, and accessible housing are supported in the RN3.





## 4.10 RESIDENTIAL NEIGHBOURHOOD 4

### INTRODUCTION

The RN4 - Residential Neighbourhood 4 is the area west of Downtown and includes park space, institutional uses, and a variety of housing types and residential lots. The proximity to Downtown and major transportation routes makes this area suitable for additional housing diversity as vacant lots infill and older buildings are replaced.

### INTENT

The intent of the RN4 - Residential Neighbourhood 4 is to enable a mix of complementary land uses including housing up to 4 units per lot, parks and pathways and institutional uses. The Village encourages the infilling of vacant lots in this area to support nearby Downtown businesses.

### OBJECTIVES

- Objective 35:** Provide opportunities for greater housing diversity for permanent residents.
- Objective 36:** Support the continued residential nature of the Village's neighbourhoods.
- Objective 37:** Infill vacant lots while meeting the community's housing needs.

### APPLICABILITY

The following policies apply to lands identified as "RN4 - Residential Neighbourhood 4" on *Map 3: Land Use*.

### POLICIES

- 4.10.1.** The RN4 - Residential Neighbourhood 4 land use should have the following mix of land uses: residential dwelling units not exceeding four units per lot and complementary home-based businesses, recreation areas and amenities, and institutional uses.
- 4.10.2.** The RN4 - Residential Neighbourhood 4 area is not a permitted location for *Stand-Alone Short-Term Rentals*.
- 4.10.3.** The preferred building form in the RN4 - Residential Neighbourhood 4 is residential dwellings.
- 4.10.4.** RN4 areas should be supported by a strong pedestrian network of pathways or sidewalks.
- 4.10.5.** Rental, affordable, and accessible housing are supported in the RN4.
- 4.10.6.** Developments shall incorporate a high standard of urban and architectural design as per Development Permit Area policies in this Plan.

## 4.11 RESIDENTIAL NEIGHBOURHOOD 5

### INTRODUCTION

The Village has a number of higher density residential buildings, including apartments, townhouses, fourplexes and other similar developments. These types of developments add much needed housing diversity and choice to the Village. Where these buildings are used as vacation homes, they do so in an efficient manner, while also potentially helping owners to consider living permanently in the Village.

### INTENT

The RN5 - Residential Neighbourhood 5 is intended for the Village's highest residential densities, including townhouses, apartments and other forms of attached housing.

### OBJECTIVES

- Objective 38:** Provide suitable locations for higher density housing in the Village.
- Objective 39:** Ensure higher density housing is located near suitable transportation corridors and other amenities.
- Objective 40:** Ensure the form and character of higher density housing meets a high standard and contributes to the architectural quality of the Village.

### APPLICABILITY

The following policies apply to lands identified

as "RN5 - Residential Neighbourhood 5" on *Map 3: Land Use*.

### POLICIES

- 4.11.1.** The RN5 - Residential Neighbourhood 5 land use should have the following mix of land uses: higher density residential buildings, including apartments, townhouses, *Fourplexes*, *Triplexes* and other similar attached residential dwellings greater than 3 units per building. Suitable land uses also include complementary home-based businesses, recreation areas and amenities, and institutional uses.
- 4.11.2.** The RN5 - Residential Neighbourhood 5 area is not a permitted location for *Stand-Alone Short-Term Rentals*.
- 4.11.3.** New residential buildings with less than two-units are not permitted.
- 4.11.4.** RN5 areas should be supported by a strong pedestrian network of pathways or sidewalks.
- 4.11.5.** Rental, affordable, and accessible housing are supported in the RN5.
- 4.11.6.** Developments shall incorporate a high standard of urban and architectural design as per Development Permit Area policies in this Plan.





## 4.12 GOLF COURSE COMMERCIAL

### INTRODUCTION

The golf course area covers a wide expanse of the southern part of the Village. It supports a major recreational and social gathering opportunity within the Village boundary, while also providing jobs and green space.

### INTENT

The GCC - Golf Course Commercial is intended to support the continued operation of the golf course in a manner that mutually benefits the Village and the golf course users and operators.

### OBJECTIVES

**Objective 41:** Support the ongoing operation of the golf course in a mutually beneficial way.

**Objective 42:** Ensure the golf course can continue to be seamlessly integrated into the Village.

### APPLICABILITY

The following policies apply to lands identified as "GCC - Golf Course Commercial" on **Map 3: Land Use**.

### POLICIES

**4.12.1.** The GCC - Golf Course Commercial land use should have the following mix of land uses: golf course and related operations, including club house for retail, restaurant and food and drink services, and maintenance buildings.

**4.12.2.** The GCC - Golf Course Commercial is not a permitted location for **Stand-Alone Short-Term Rentals**.

**4.12.3.** Prior to expansion of any golf course area or major change of use, the proponent shall provide the Village with a **Master Plan** identifying:

- a) Proposed development plans (e.g. new or altered golf holes or new buildings) on a detailed concept plan with contour lines;
- b) Servicing (water, sewer, electricity) strategy;
- c) Transportation strategy;
- d) Environmental and Archaeological impact studies for the proposed development lands; and
- e) Technical studies (e.g. geotechnical) where required by the Village to ensure the land is suitable for the intended use.

**4.12.4.** The golf course should ensure emergency evacuation plans are in place and have been clearly communicated to all visitors.

- a) Golf course operators / owners should provide the Village with a copy of any emergency management or evacuation plan, including egress strategies, to ensure proper coordination with Village staff and resources in the time of an emergency.

## 4.13 COMPREHENSIVE PLANNING AREAS

### INTRODUCTION

The *Comprehensive Planning Areas* consist of large parcels of undeveloped land where there has been development interest. As shown on **Map 3: Land Use** there are three different comprehensive planning areas:

- a. Area A: the largest CPA is in the northern portion of the Village and is located west of Highway 95. Existing subdivisions in Elk Park are continuing to fill up. Constraints in this area include steep slopes, wildlife habitat, and **Riparian Areas** of smaller creeks or drainages.
- b. Area B is east of Highway 95 located on hilly terrain that is above the Canyon Campground. The land borders the Village's eastern boundary with constraints of steep slopes, **Riparian Areas** and wildlife habitat.
- c. Area C is southeast of Highway 93 and mainly accessed off Madsen Road. Constraints include steep slopes and challenging road and emergency access.

### INTENT

The intent of this land use area is to ensure that:

- Comprehensive plans are created prior to development in these areas,
- The necessary technical studies are completed to identify the land is suitable for its intended purpose, and
- The land use and development pattern aligns with the vision and principles of this Plan, including contributing to meeting the Village's housing needs.

### OBJECTIVES

**Objective 43:** Ensure the benefits of development outweigh the costs and risks in an area surrounded by development challenges.

**Objective 44:** Protect current and future residents from hazards.

**Objective 45:** Ensure comprehensive planning and environmental analysis is undertaken prior to development.

**Objective 46:** Ensure new development areas contribute meaningfully to the Village's housing needs.



4

## APPLICABILITY

The following policies apply to lands identified as "CPA - Comprehensive Planning Area" on **Map 3: Land Use**.

## POLICIES

- 4.13.1.** Prior to approving new subdivision, development, rezoning, or redesignating lands in the CPA a **Master Plan** shall be approved that includes:
- a) Community engagement;
  - b) A concept plan and maps detailing the proposed land use and development pattern, including housing density;
  - c) Maps identifying all areas within a Development Permit Area as per this Plan;
  - d) A report detailing how the development will comply with the Wildfire Development Permit Area requirements;
  - e) A report detailing emergency preparedness;
  - f) A geotechnical **Hazard Risk Assessment** identifying suitable development areas in compliance with the Steep Slope Development Permit Area requirements;
  - g) An assessment of the presence and potential impacts to archaeological sites protected by the *Heritage Conservation Act*;
  - h) An impact assessment of environmentally significant habitat and features;
  - i) A servicing strategy, including infrastructure costs; and
  - j) A financial impact assessment using the **Community Lifecycle Infrastructure Cost (CLIC) Tool** that analyzes the short (e.g. 5 year) and

long-term (e.g. 50 years) financial impact of the development on the Village and its infrastructure and operating costs.

- 4.13.2.** **Master Plans** shall demonstrate how the following minimum number of housing units will be achieved as a condition of approval:
- a) **Area A:** 300 housing units;
  - b) **Area B:** no minimum; and
  - c) **Area C:** no minimum.
- 4.13.3.** The **Master Plan** for Area A should identify a variety of attached (**Duplex**, **Triplex**, **Fourplex** or townhouses) and detached housing types.
- 4.13.4.** **Master Plans** shall be approved by Council resolution or bylaw prior to development, subdivision, rezoning or redesignation.
- a) Notwithstanding the above, the Village may permit a minor development (e.g. single building) prior to approval of the **Master Plan**.
- 4.13.5.** Where sensitive environmental lands or hazards (flooding, wildfire, slope erosion, sensitive wildlife or plant species) are identified during the master planning process:
- a) The Village shall conserve or protect these sensitive environmental areas at the subdivision and/or rezoning stage through use of available legislative tools; and/or
  - b) Require the developer to mitigate the impacts from development on sensitive environmental lands (e.g. setbacks, amended land uses) and identify those mitigation strategies within the **Master Plan**.



## 4.14 NATURAL & HAZARD AREAS

### INTRODUCTION

The Natural & **Hazard Areas** consist of all unprotected floodplains, **Environmentally Sensitive Area(s) (ESA)**, important habitat lands, undeveloped creeks and associated buffers and steep slopes.

### INTENT

The intent of this land use area is to protect and conserve sensitive and hazard lands for the benefit of flora, fauna, ecological systems and humans.

### OBJECTIVES

- Objective 47:** Protect current and future residents from hazards.
- Objective 48:** Identify lands for environmental protection within the Village that provide critical ecological functions for the Village and its

residents (e.g. stormwater/flood management, wildfire buffer, steep slopes).

- Objective 49:** Ensure that lands with significant and/or multiple hazards or ecological significance are identified as clearly not intended for future development.
- Objective 50:** Ensure sensitivity to lands adjacent to the Village boundary, including Kootenay National Park, and provincial wildlife management areas and Agricultural Land Reserve.



# APPLICABILITY

The following policies apply to lands identified as "NHA - Natural & *Hazard Areas*" on *Map 3: Land Use*.

# POLICIES

- 4.14.1. Lands identified as Natural & *Hazard Area* on *Map 3: Land Use* shall have no development unless the development proposal meets the requirements of this Plan.
- 4.14.2. Undertake and reinforce protection from hazards and enhancement of *Environmentally Sensitive Area(s) (ESA)* on *Map 3: Land Use* through Environmental & Hazard Development Permit Areas (DPAs).
- 4.14.3. The Village shall take advantage of opportunities at the subdivision or rezoning approval stage to further preserve, conserve, or protect lands identified on *Map 3: Land Use* as Natural & *Hazard Area* from future development through use of available legislative tools.
- 4.14.4. The Village shall seek opportunities to buffer or setback development from those lands identified on *Map 3: Land Use* as Natural & *Hazard Area*.
- 4.14.5. The Village should maintain and update (e.g. every 10 years with each comprehensive review of the OCP) the base data and studies that underpin the Natural & *Hazard Area* Land Use, including:
  - a) Provincial data on sensitive species and environmental areas;
  - b) Steep slopes over 20% with landslide risk;
  - c) Flood prone / flood risk areas including *Riparian Areas* and wetlands;
  - d) Wildfire risk areas; and
  - e) Any other related data that may

be relevant.

- 4.14.6. Lands identified within *Map 3: Land Use* as Natural & *Hazard Area* should also be protected through zoning in the Village's Zoning Bylaw.
- 4.14.7. *Agricultural Land Reserve (ALR)* Lands within the NHA area are intended to continue to be consistent with ALR Regulations and allow agricultural use where feasible and not limited by hazard lands.



# 4.15 INDUSTRIAL INTRODUCTION

The Industrial land use consists of the Canfor lumber mill and the Village's utilities, infrastructure and wastewater system facilities. The lumber mill is one of the Village's main employers and it's a priority to support the continued operation of the mill.

# INTENT

The IND - Industrial land use is intended to support the continued operation of the lumber mill and the Village's utilities in a manner that supports industry and minimizes impacts to residents.

# OBJECTIVES

- Objective 51:** Support the ongoing operation of the lumber mill in a mutually beneficial way for industry, residents, and the Village.
- Objective 52:** Mitigate any potential industrial impacts.

# APPLICABILITY

The following policies apply to lands identified as "IND - Industrial" on *Map 3: Land Use*.

# POLICIES

- 4.15.1. The IND - Industrial land use should have the following mix of land uses: heavy industrial and public utilities, including wastewater treatment and some limited adjacent recreational uses.

- 4.15.2. The lumber mill should ensure emergency evacuation plans are in place and have been clearly communicated to all employees and visitors.
  - a) The lumber mill should provide the Village with a copy of any emergency management, fire readiness, mill infrastructure, or evacuation plan, including egress strategies, to ensure proper coordination with Village staff and resources in the time of an emergency.
- 4.15.3. The Village should work cooperatively with heavy industry operators to:
  - a) Support continued reduction of off site impacts (e.g. noise, dust, smell, pollution); and
  - b) Discuss public communications the Village may require for its citizens related to safety risks of living near heavy industry.
- 4.15.4. The Village may require the developer requesting approval for a new or expanded Heavy Industrial area to provide a Risk Assessment in accordance with the standards established by the *Major Industrial Accidents Council of Canada* that includes:
  - a) Risk identification;
  - b) Probability of an industrial accident;
  - c) Consequences of an industrial accident;
  - d) Emergency Management Plan; and
  - e) Risk management.



# SECTION 5

## 5. COMMUNITY-WIDE POLICIES

### 5.1 HOUSING

#### INTRODUCTION

Adequate housing is a core human need and the Village is committed to adequate housing development to meet the needs of the community.

The **Local Government Act** requires that Official Community Plans:

*"...must include housing policies of the local government respecting each class of housing needs required to be addressed in the most recent housing needs report".*

The Village's current Housing Needs Report (July 2024), uses the five provincial classes of housing needs:

1. Supply to Reduce Extreme Core Housing Need
2. Supply to Reduce Homelessness
3. Supply to Reduce Suppressed Household Formation
4. Supply to Meet Household Growth
5. Vacancy Rate Adjustment

**Affordable Housing:** means housing that is offered for rent at, or below, the affordable monthly rent as defined in the Village's most recent **Housing Needs Report**.

Different levels of affordable housing exist including:

**Deep affordability:** Housing targeted towards those on Income Assistance, based on BC shelter maximum rates.

**Below-market affordable housing:** Housing targeted towards those making less than 75 percent of median household incomes.

**Near-market affordable housing:** Housing targeted towards those making 75 percent of median household incomes and above, but not able to afford new market rental rates. Rates are based on a range between the cap of below market affordable rates above and Housing Income Limits provided by BC Housing.

**New market rental housing:** Housing targeting higher income renters who are able to afford full market rental rates. (No income restrictions.)

#### OBJECTIVES

- Objective 53:** Strive to provide opportunities for secure and affordable housing throughout the Village.
- Objective 54:** Ensure an efficient application process for affordable housing or rental housing applications.
- Objective 55:** Play a leadership role in affordable and rental housing.
- Objective 56:** Support the creation and retention of existing affordable housing in the community.
- Objective 57:** Support citizens in core housing need.

#### POLICIES

- 5.1.1.** To address the five classes of housing needs (i.e. increase supply and reduce extreme core housing need, reduce homelessness, reduce suppressed household formation, meet household growth, and increase the rental vacancy rate) the Village will:
- a) Prioritize infill and intensification of existing neighbourhoods;
  - b) Look for opportunities to partner with the non-profit housing sector and social agencies;
  - c) Increase residential densities in the zoning bylaw;
  - d) Look for opportunities to build infrastructure that can support housing;
  - e) Regulate **Short-Term Rentals**;
  - f) Limit the conversion of affordable or **Long-Term Rental** housing units to vacation homes;
  - g) Provide incentives to developers providing affordable, supportive or rental housing; and
  - h) Update and review the **Long-Term Rental Housing Revitalization Tax Exemption Program Bylaw No. 497, 2023** regularly to ensure its effectiveness.
- 5.1.2.** Based on the scale and composition

of the application, the Village should consider providing incentives to affordable housing and **Purpose-Built Rental Housing** projects, including:

- a) Priority application queuing;
  - b) Application fee reductions;
  - c) Development Cost Charge reductions;
  - d) Public infrastructure (e.g. water, sewer, road) upgrades; and
  - e) Reduction of minimum parking requirements.
- 5.1.3.** Where the Village provides a developer with benefits for an affordable or rental housing project, the Village may require a Housing Agreement and/or a Land Titles Act Section 219 covenant or confirmation of an operating agreement of at least 15 years with BC Housing.
- 5.1.4.** The Village may use Housing Agreements and covenants to protect Affordable Housing.
- 5.1.5.** The Village is supportive of innovative models of affordable housing, such as modular housing and adaptive re-use of buildings.
- 5.1.6.** The Village will manage **Short-Term Rentals** in an effort to meet the housing needs of permanent residents and work towards the vision of a year-round Village.
- 5.1.7.** The Village will regularly engage non-profit housing providers in the region to better understand their needs and support new projects.
- 5.1.8.** The Village supports the creation of new rental housing and the retention of existing rental housing within the community.
- 5.1.9.** The Village should look for opportunities to partner with senior governments, the non-profit housing sector and the development community to facilitate the development of affordable, supportive and rental housing.
- 5.1.10.** Evaluate opportunities to partner and contribute Village-owned land to non-profit affordable housing opportunities.



# 5.2 SHORT-TERM RENTALS

## INTRODUCTION

The Village has always been a tourist destination and will continue to build and maintain its status as a destination for tourists from around the world. *Short-Term Rentals* have a role to play in serving vacationers with unique overnight accommodations.

*Short-Term Rentals* in their current form are creating challenges within the community through reducing opportunities for housing for permanent residents, contributing to rising housing prices and rents, and creating tension between residents in existing neighbourhoods. Regulating *Short-Term Rentals* is an opportunity for the Village to:

- a. Achieve its vision of being a community with a high proportion of full-time residents;
- b. Reduce community conflict by enabling *Short-Term Rentals* into more appropriate areas (Downtown, Highway 93); and
- c. Enhance the prospect of new Downtown and Highway 93 investment with inclusion of *Short-Term Rental* provision as a product diversification opportunity.

The Village understands *Short-Term Rentals* as commercial enterprises and thus will direct them towards commercially designated and zoned land in the Village. Furthermore, locating *Short-Term Rentals* into commercial areas allows existing residential areas to return to their normal neighbourhood feel, adding certainty to the long-term housing market in Radium Hot Springs.

This Plan defines two types of *Short-Term Rentals*:

- a. **STR-Major** means stand-alone rentals, where an owner/operator or long-term tenant does not live on the property.
- b. **STR-Minor** means a resident-occupied property, where an owner or long-term

tenant lives on the property and manages the rental.

## OBJECTIVES

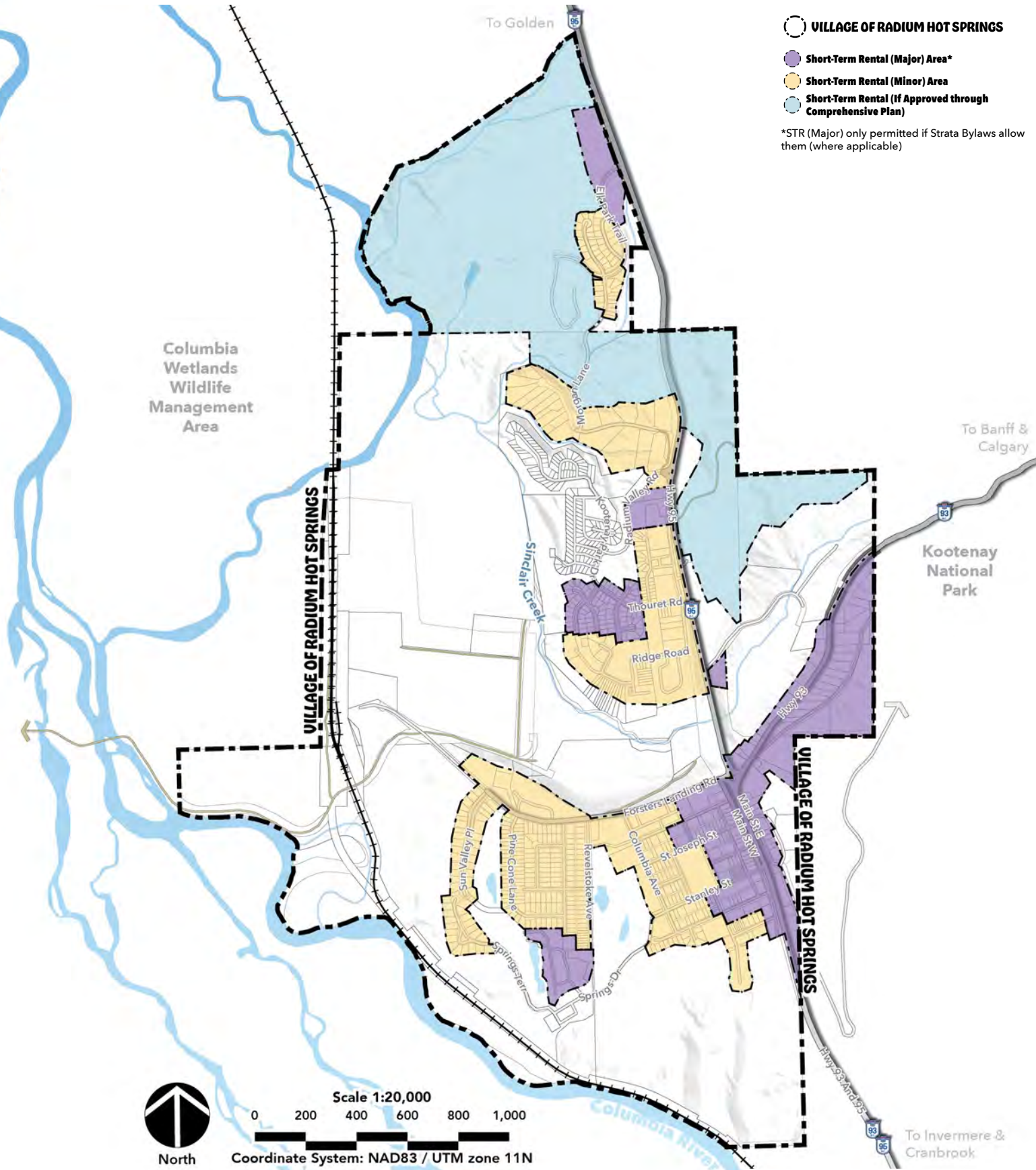
- Objective 58:** To meet the Village's housing needs as outlined in its Housing Needs Report.
- Objective 59:** To direct *Short-Term Rentals* to appropriate commercial areas within the Village.
- Objective 60:** To deepen investment attraction value proposition by enabling *Short-Term Rentals* in the development mix.

## POLICIES

- 5.2.1.** *Short-Term Rentals* shall require a Business License to be renewed yearly in compliance with the Village's Business License Bylaw.
- 5.2.2.** The Village shall ensure the Business License Bylaw is kept up-to-date and aligns with the Village's Zoning Bylaw and Official Community Plan.
- 5.2.3.** STR-Major will be permitted under the following conditions:
  - a) The property is located in a permitted area for STR-Major as shown on **Map 4: Stand-Alone Short-Term Rental Areas**
  - b) The property has an approved and current Business License for an STR-Major.
- 5.2.4.** An Existing STR-Major with an approved Business License that is not located within a permitted area as shown on **Map 4: Stand-Alone Short-Term Rental Areas** may continue to renew its yearly Business License until October 15, ~~2030~~ **2032**, at which point Business Licenses for STR-Major will no longer be issued for properties outside

moved from 5.2.5 at 1<sup>st</sup> Reading

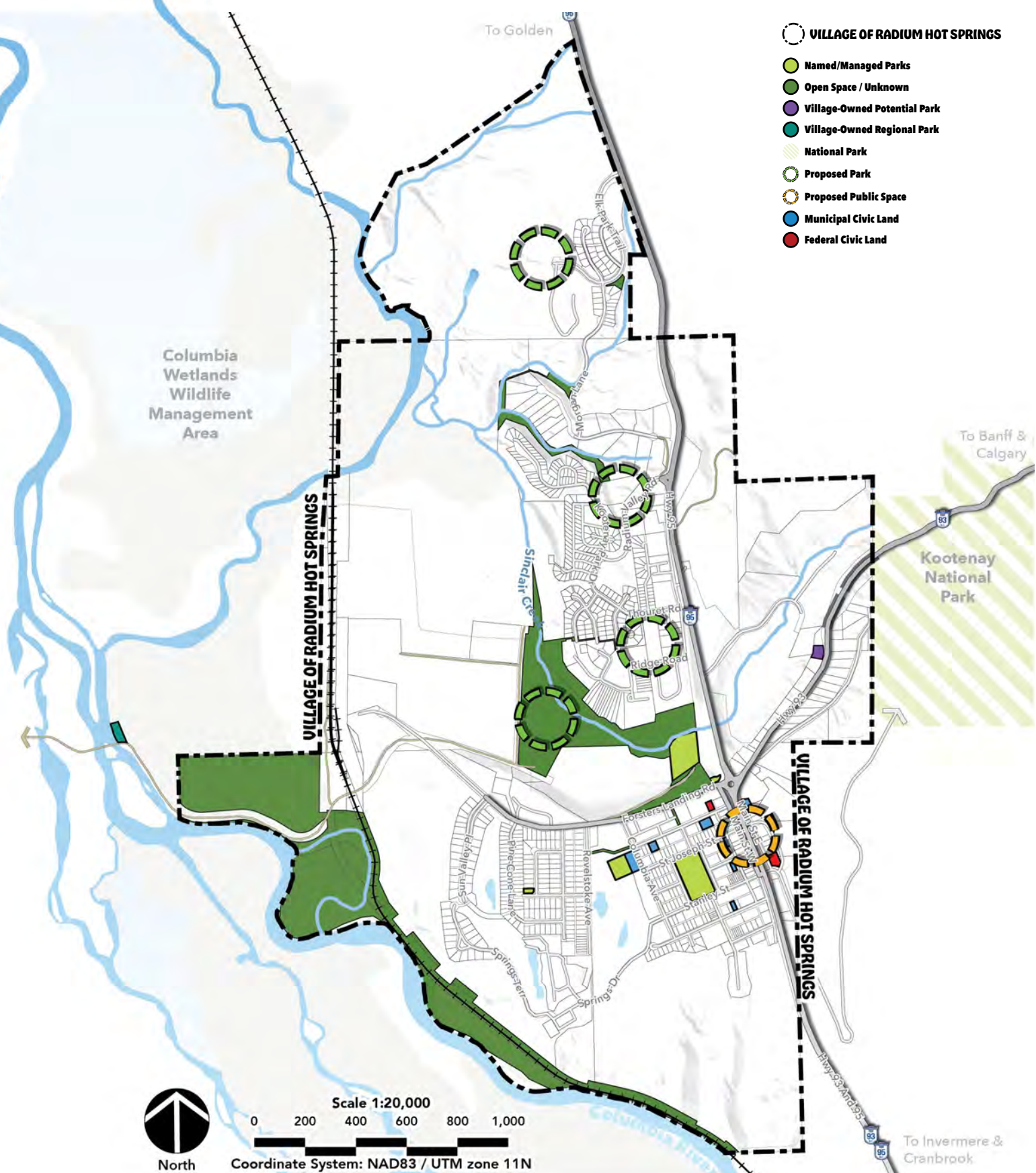
## MAP 4: STAND-ALONE SHORT-TERM RENTAL AREAS





## MAP 5: PARKS & OPEN SPACES

-  VILLAGE OF RADIUM HOT SPRINGS
-  Named/Managed Parks
  -  Open Space / Unknown
  -  Village-Owned Potential Park
  -  Village-Owned Regional Park
  -  National Park
  -  Proposed Park
  -  Proposed Public Space
  -  Municipal Civic Land
  -  Federal Civic Land



the permitted areas.

new (1<sup>st</sup> reading amendment)

- a) Notwithstanding the above, and effective on the date of adoption of this bylaw, if any change in ownership (including change of corporate board of directors) occurs before October 15, 2032 on a property operating as an STR-MAJOR outside the permitted areas shown on **Map 4: Stand-Alone Short-Term Rental Areas** that STR-Major will not receive a Business License and will not be allowed to continue.

new (1<sup>st</sup> reading amendment)

No new STR-major outside of the area identified on **Map 4: Stand-Alone Short-Term Rental Areas** allowing STR-

moved from 5.2.4 at 1<sup>st</sup> reading

major will be allowed to be created after adoption of this Plan.

STR-Minor will be permitted in residential areas under the following conditions:

- a) The STR is located within a second unit on the property (e.g. secondary suite, detached garden suite or garage suite);
- b) An owner or long-term tenant resides on the property the majority of the time; and
- c) The property has an approved and current Business License for an STR-Minor.

## 5.3 PARKS, RECREATION & OPEN SPACES

### INTRODUCTION

Parks, recreation and open spaces add to the quality of life and health of Village residents. Residents are blessed with plenty of recreational opportunities throughout the Columbia Valley. However, it is also extremely important to have nearby recreation and public gathering opportunities within the Village. Every citizen should have nearby park space and recreation opportunities to enhance their health and well-being.

**Map 5: Parks & Open Spaces** identifies the Village's vision for future parks, open spaces, and recreation areas.

### OBJECTIVES

**Objective 61:** Expand and enhance the Village's parks, recreation and open space network.

**Objective 62:** Provide every resident with nearby parks, recreation opportunities and open space.

### POLICIES

**5.3.1.** The Village shall require developers to provide the maximum park reserve of 5% in accordance with the **Local Government Act** as either land or as cash-in-lieu.

- a) Where a developer wishes to pay cash-in-lieu of land for the 5% dedication it shall be at the discretion of the Village.

**5.3.2.** Developers shall dedicate lands for parks as shown on **Map 5: Parks & Open Spaces** in accordance with the **Local Government Act**.

**5.3.3.** The Village should endeavour to develop a park and/or playground within 500 metres of every home.

**5.3.4.** The Village should ensure that new developments and redevelopments of existing sites are integrated with the surrounding neighbourhoods through a connected system of pathways, sidewalks, trails and public spaces.

**5.3.5.** All new and renovations to parks, open spaces, and recreation amenities



should be designed to a universal access design standard.

- 5.3.6. The Village should support a diverse range of recreation amenities to serve the needs of existing residents and attract new ones.
- 5.3.7. The Village should continue to deliver safe and enjoyable recreation and

wellness programs and opportunities for residents of all ages, abilities, interests and levels of mobility.

- 5.3.8. The Village should continue to work with regional partners and recreation user groups to connect the Village to regional parks, pathways and trails.

coordinate communication to increase public awareness of existing and planned programs, services, facilities, amenities and infrastructure.

- 5.4.8. Ensure school bus stops have adequate sidewalks and safety and work with the school district on safe bus stop locations.
- 5.4.9. When designing public spaces and community facilities, consider climate adaptation measures including:
  - a) Refuge space from heat waves,
  - b) Wildfire smoke, power outages and other similar circumstances;
  - c) Cool and clean air refuges; and
  - d) Shared outdoor public spaces.

## 5.4 PUBLIC & INSTITUTIONAL INTRODUCTION

Public and institutional buildings and developments are an opportunity for government organizations and agencies to contribute to fulfilling the vision and principles of this Plan. There are opportunities for government leadership in key aspects of the Plan, such as supporting infill and redevelopment of the Downtown or improving pedestrian mobility.

Governments are now also using institutional projects to create Mixed-Use developments with integrated housing on site.

### OBJECTIVES

**Objective 63: Plan for future institutional uses to support the Community Plan.**

### POLICIES

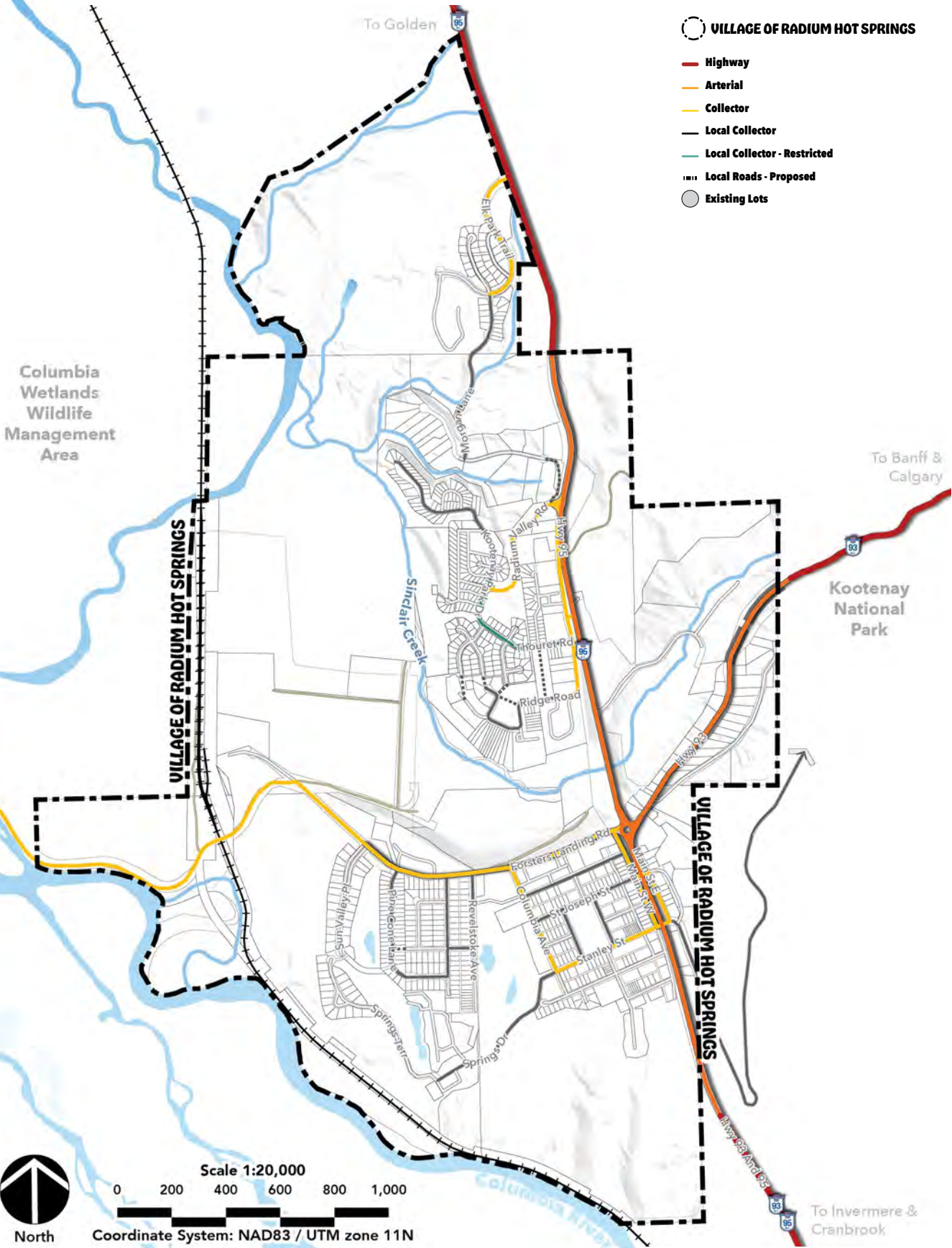
- 5.4.1. The Village should continue to invest in and support the Radium Hot Springs Public Library.
- 5.4.2. Before the end of 2028 the Village should investigate whether *Amenity Cost Charges (ACC)* would be a beneficial tool for the Village to fund: libraries, community centers, recreation centres, and daycares.
- 5.4.3. New institutional buildings should prioritize:
  - a) Building on vacant serviced lots;
  - b) Areas in close proximity to amenities and services (e.g. shops, restaurants,

parks) such as the Downtown; and

- c) Good transportation and mobility access, including good pedestrian cycling infrastructure (e.g. sidewalks, pathways, bike parking).
- 5.4.4. New institutional buildings and developments should investigate opportunities to:
  - a) Reach a high standard for environmental sustainability (e.g. LEED gold or platinum);
  - b) Create strong pedestrian and active mobility infrastructure (e.g. sidewalks, pathways, bike paths and bike parking areas);
  - c) Integrate public plazas and gathering areas into the site design;
  - d) Develop a mix of uses on the site, including housing, where feasible; and
  - e) Provide additional space for non-profits or charities to boost the cultural and social capital in the Village and region.
- 5.4.5. The Village should investigate and support adding more educational opportunities within the Village, including:
  - a) Bringing back a public elementary school; or
  - b) Attracting a private school.
- 5.4.6. The Village supports the return of a public elementary school to the Village and does not support the disposal of the former school site.
- 5.4.7. Work with community partners to



# MAP 6: VEHICULAR MOBILITY



## 5.5 TRANSPORTATION & MOBILITY

### INTRODUCTION

Transportation and mobility is more than moving vehicles. The essence is getting people where they need go in a safe and enjoyable manner. For some people this may be a vehicle trip and for others a bike ride is suitable. A holistic approach to transportation and mobility is necessary, which includes all modes of travel (e.g. walking, cycling, rolling, and driving). As the Village grows additional travel options may grow, including public transit and ride sharing.

Planning for how citizens and visitors will travel within the Village is important to the safety and function of Radium Hot Springs. The presence of provincial highways adds another aspect to mobility planning in Radium Hot Springs. Coordination and cooperation in planning with the Ministry of Transportation and Transit is vital to the safety and economy of the Village.

### GENERAL

#### OBJECTIVES

**Objective 64:** Maintain a motorized network to support business, transit, tourism and resident mobility.

**Objective 65:** Manage the Village's transportation networks in a sustainable way.

#### GENERAL POLICIES

- 5.5.1.** Construct road connections, upgrades, and infrastructure as shown on **Map 6: Vehicular Mobility**.
- 5.5.2.** Where practical, transition the Village's vehicle fleet to zero carbon emissions.
- 5.5.3.** Prioritize grid road networks and avoid cul-de-sacs.
- 5.5.4.** Do not permit cul-de-sacs unless unavoidable due to steep slopes or required to avoid **Environmentally Sensitive Area(s) (ESA)**.

- 5.5.5.** Require developers to align future roads, block size and infrastructure with the existing road network.
- 5.5.6.** Ensure that any future roads through Comprehensive Planning Areas, or Natural & **Hazard Areas** are designed, constructed, and maintained with high environmental protection standards (e.g. erosion and sediment control plans and avoidance of wetlands and sensitive environmental areas).
- 5.5.7.** Continue to work with the Ministry of Transportation and Transit on matters pertaining to provincial highways, including:
  - a)** Pedestrian and multi-modal crossings;
  - b)** Large vehicle parking (e.g. RVs and transport trucks); and
  - c)** Wildlife connectivity.
- 5.5.8.** Parking areas must provide adequate areas for snow storage and drainage.
- 5.5.9.** Maintain or enhance laneways as redevelopment occurs, to provide primary vehicle access to rear parking garages and commercial loading areas.

### ELECTRIC VEHICLES

#### OBJECTIVES

**Objective 66:** Expand and support electric vehicle infrastructure.

#### POLICIES

- 5.5.10.** Enable publicly-accessible electric vehicle charging and encourage new developments to be electric-vehicle ready.



# TRANSPORTATION

## OBJECTIVES

- Objective 67:** Develop Complete Streets.
- Objective 68:** Focus on moving people safely and efficiently not just cars.
- Objective 69:** Transition from a vehicle-dependent community to a more diverse and mobile transportation network.
- Objective 70:** Create a connected mobility network of sidewalks, pathways and trails across the entire Village.
- Objective 71:** Plan for an active transportation future.

## POLICIES

- 5.5.11.** Require that all new streets shall have sidewalks or pathways on at least one side of the street.
- 5.5.12.** The Village should incorporate Complete Street principles in road retrofits and new construction, supported by Village standards, guidelines and best practices, including:
  - a) Wide sidewalks (i.e. 1.5 m or greater) on at least one side of the street;
  - b) Street trees and boulevards, where suitable;
  - c) On-street parking, where suitable;
  - d) Intersections that reduce pedestrian crossing distance; and
  - e) Bike lanes and bike parking, where feasible.
- 5.5.13.** Require developments to contribute to Complete Street design as outlined in **Policy 5.5.12** above.
- 5.5.14.** Prioritize Complete Street design retrofits as outlined in **Policy 5.5.12** in the Downtown and Highway 93 areas.
- 5.5.15.** Street lighting upgrades should be consistent with **Dark Sky** lighting guidelines to reduce light pollution.

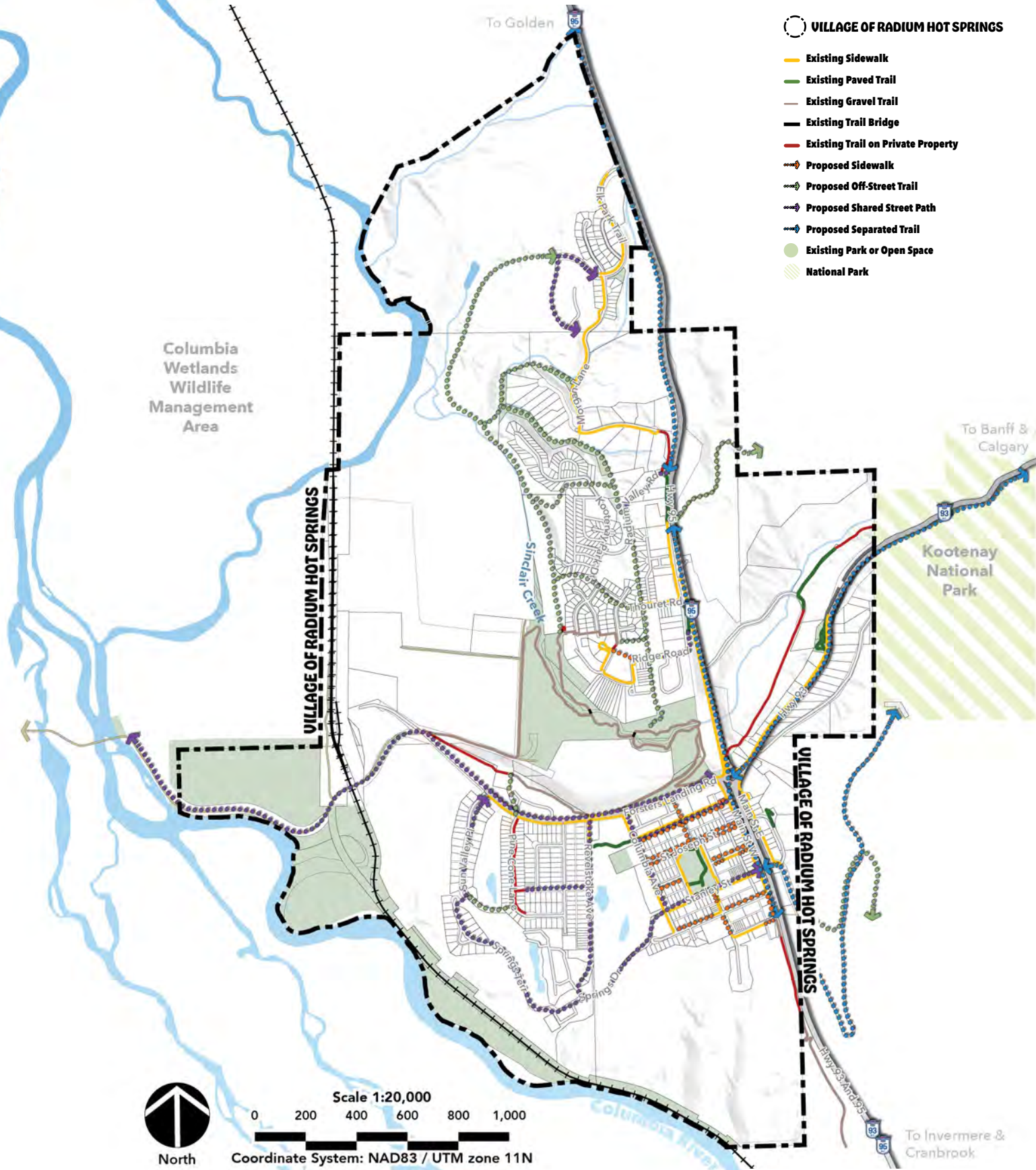
- 5.5.16.** The Village will review the Active Transportation Plan every five years to determine if an update is required.
- 5.5.17.** Developers shall be required to dedicate land for public rights-of-way for the purpose of expansion or completion of the Village's transportation network, including roads, lanes or pathways as directed by **Map 6: Vehicular Mobility** and **Map 7: Pedestrian Connectivity**.
- 5.5.18.** Developments shall be required to incorporate pedestrian-oriented design elements, such as public seating areas or patios, bike racks, sidewalks, and multi-use connections.
- 5.5.19.** The Village may acquire lands around roads with corners greater than 90 degrees in order to improve road design for emergency services, and safety.

# TRAILS & PATHWAYS

## POLICIES

- 5.5.20.** Create a system of linked trails and pathways as shown on **Map 7: Pedestrian Connectivity**.
- 5.5.21.** The Village should strive for all residential lots to be within close proximity (e.g. 100 metres or less) of either a trail, sidewalk or pathway.
- 5.5.22.** New developments may be required to complete pathway, sidewalk or trail network connections from/to existing pedestrian networks.
- 5.5.23.** Developers shall contribute trails, pathways or sidewalks where identified in this Plan.
- 5.5.24.** The Village should prioritize creating trail loops and connections to other **Active Transportation** features, rather than out-and-back trails, to ensure a well-connected trail system.

# MAP 7: PEDESTRIAN CONNECTIVITY





MAP 8: INFRASTRUCTURE

- 5.5.25. The Village will work with adjacent communities, private landowners, Parks Canada, non-profit organizations, regional recreation groups, First Nations, MOTT, and the RDEK to develop and formalize trail connections to regional trail networks and parks.
- 5.5.26. The Village should design and locate recreational trails to support multiple objectives, including hazard mitigation (e.g., wildfire breaks, flood protection), emergency access routes and maintenance access, where appropriate.
- 5.5.27. Enhance trail stewardship through strong partnership relations among all trail users, clubs, volunteers and other levels of government. Pursue actions to improve responsibility and reduce conflicts among trail users.

ACCESSIBILITY

POLICIES

- 5.5.28. The Village should keep updated the Village's *Accessibility Plan*.
- 5.5.29. Accessible parking stalls should be provided at all public amenities, parks, and trailheads.

PARKING

OBJECTIVES

**Objective 72:** Balance the need for parking with the equal need for redevelopment within the Downtown and Highway 93 to create a vibrant local economy.

POLICIES

- 5.5.30. Allow credit for on-street parking spaces to count towards overall parking requirements in the Downtown Mixed Use Area (DTMU).
- 5.5.31. Monitor the need for parking in the Downtown and Highway 93 building off the 2024 analysis shown in **2024 Downtown Parking Count** and **Figure 12: 2024 Highway 93 Parking Count**.

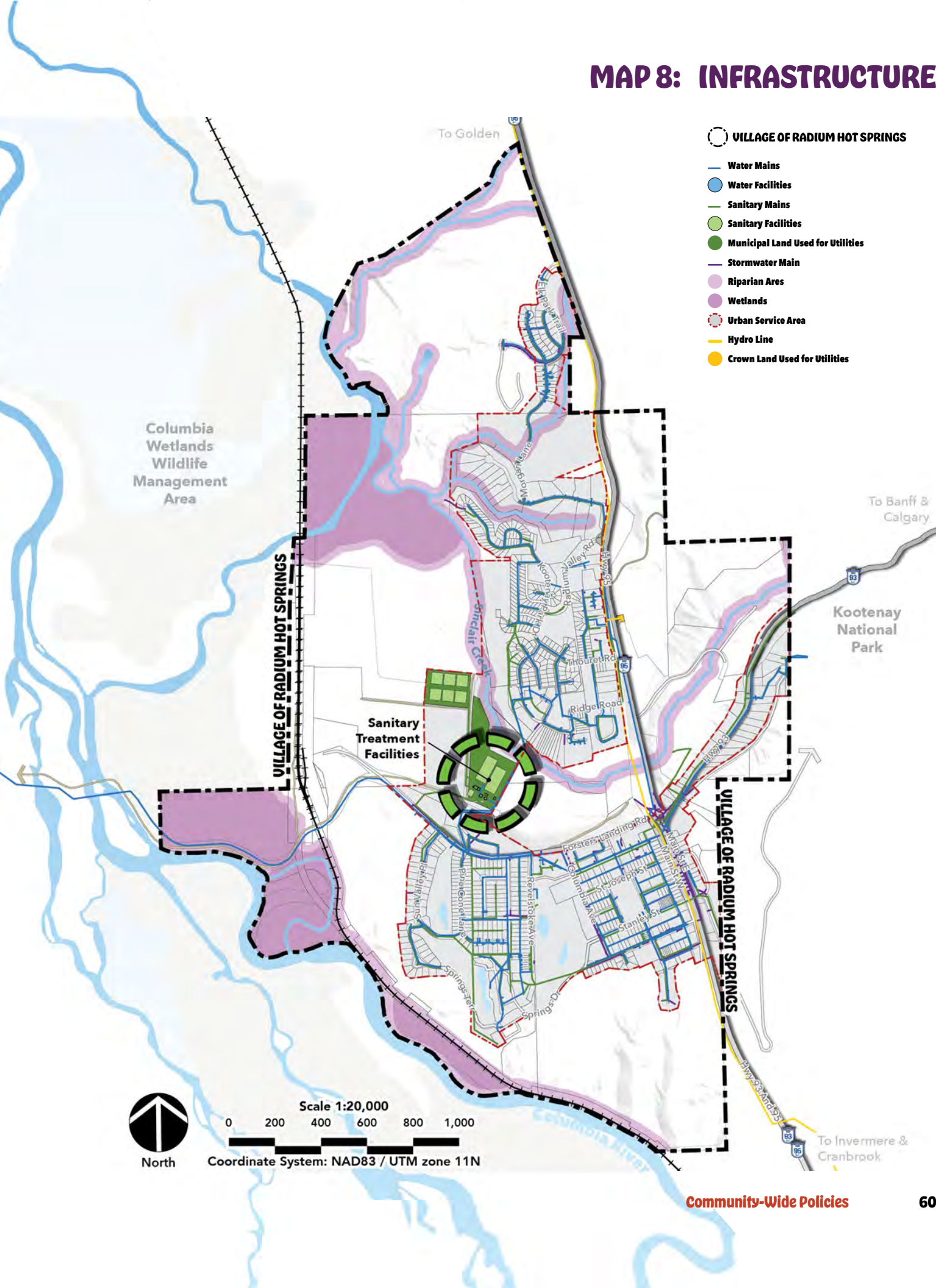
- 5.5.32. Reduce parking requirements in the Downtown or Highway 93 to encourage the following types of developments:
  - a) *Mixed-Use Buildings* with active ground floor commercial land uses and upper storey residential;
  - b) Affordable, rental or *Supportive Housing* projects;
  - c) Multi-storey commercial buildings with active ground floor commercial uses.



2024 Downtown Parking Count  
Total parking spaces: 601



2024 Highway 93 Parking Count  
Total parking spaces: 298





## 5.6 INFRASTRUCTURE

### INTRODUCTION

Clean water, efficient sewage system, safe roads and sidewalks, and waste disposal/transfer are essential to a high quality of life in the Village. Without these services quality of life would be significantly diminished. These key municipal services (and many others) require complex infrastructure that is often out of sight and out of mind. Proper planning of infrastructure and servicing systems is a key contributor to keeping taxes (and the cost of living) affordable for Village residents.

### OBJECTIVES

**Objective 73:** Build infrastructure in a logical, safe and sustainable manner.

**Objective 74:** Require that new developments be serviced with water and sewer.

**Objective 75:** Ensure the Village has sufficient water quality and quantity for existing and future development.

**Objective 76:** Ensure adequate capacity for treatment of liquid waste for existing and future development.

**Objective 77:** Add backup sources of power generation at our water and sewer plants to make us more resilient in the event of an emergency.

### POLICIES

- 5.6.1. New developments shall be required to connect to municipal sewer and water.
- 5.6.2. The Village should have a robust asset management plan to ensure long-term maintenance and replacement of infrastructure before it fails or breaks.
- 5.6.3. Investigate and apply current climate science to ensure infrastructure resilience through life cycle financial planning, and sustainable maintenance.

5.6.4. Future growth shall be directed to areas that can be fully serviced with municipal piped water and sewer services, with highest priority on infilling existing developed areas where water and sewer capacity is available.

5.6.5. Coordinate infrastructure upgrades and system extensions with land use and density to ensure cost-effective development, in order to minimize infrastructure lifecycle costs and to mitigate the financial impacts of lower density residential development.

5.6.6. Require that development pays its fair share of on-site and offsite infrastructure costs through compliance with servicing and development cost charge bylaws while not limiting the Village's other funding opportunities for cost-sharing (e.g. latecomers agreements and grant funding).

5.6.7. Developers are required to provide off-site extension of services and utility facility upgrades, at their cost, so as to service new development.

5.6.8. Developers shall be required to cover third-party professional costs (e.g. engineering) associated with the review or analysis of the servicing requirements for a proposed development. For example, costs associated with modeling the impact of a proposed development on the water or sewer system.

5.6.9. Make land use, planning and capital investment decisions with a longterm life cycle asset management perspective for the design, maintenance and renewal of servicing infrastructure, including *Natural Assets*.

5.6.10. Regularly review the *Development Cost Charge Bylaw* every 5-7 years to ensure that development pays for the infrastructure it will use over the lifecycle of the development proposal.

5.6.11. Use the provincial *Community Lifecycle*

*Infrastructure Cost (CLIC) Tool* to assess lifecycle costs and cost recovery on all *Major Development* applications.

### WATER

5.6.12. The Village shall ensure that all approved developments are connected to a safe and adequate supply of water. Installation of new water infrastructure shall be the responsibility of the developer.

5.6.13. Ensure yearly completion of the Village's annual drinking water report.

5.6.14. Continue to collaborate with regional partners in planning and monitoring land and water use in the region to ensure the long-term sustainable use and protection of the Village's water source.

5.6.15. The Village may explore a secondary water source or second water supply line under the Columbia River.

5.6.16. Encourage water reduction strategies in new development, such as low-water landscaping (e.g., xeriscaping), "gray water" re-use and low flow fixtures.

### SANITARY SEWER

5.6.17. The Village shall ensure that all approved developments are connected to a safe and adequate sanitary sewer system. Installation of new sanitary sewer infrastructure shall be the responsibility of the developer.

### STORMWATER

5.6.18. Manage the amount of *Impervious Surfaces* within developed areas through the Zoning Bylaw and Development Permit Areas.

5.6.19. Stormwater facilities on a development site should be designed to hold and manage water during and after the construction period in accordance with the Subdivision & Servicing Bylaw.

5.6.20. *Land Alteration* of the natural drainage courses of the site shall be minimized.

5.6.21. Developments greater than 1 hectare shall be required to complete a stormwater management plan.

a) Developments less than 1 ha may be required to complete stormwater management or site drainage plan at the discretion of the Village.

5.6.22. Preparation of a site-specific stormwater management plan shall:

- a) Reflect best practices of stormwater management;
- b) Be undertaken by a "*Qualified Professional (QP)*";
- c) Be designed to manage sediment and run-off during construction;
- d) Be designed to show that post-development flows do not exceed pre-development flows into watercourses;
- e) Consider climate change projections in any future modeling of stormwater impacts.

5.6.23. The Village should keep its master *Stormwater Management Plan* for the Village up-to-date.

5.6.24. Acknowledge that overland flooding resulting from heavy rainfall may increase with climate change and seek to identify, enhance and establish overland flood paths, drainage basins and protected rights-of-ways on private property to reduce potential impacts.

### WASTE MANAGEMENT

**Objective 78:** Reduce waste sent to the landfill.

5.6.25. Encourage reduction of waste that ends up in the landfill, by supporting recycling and composting.

5.6.26. The Village should continue to support local programs that educate citizens on minimizing human-wildlife conflict from waste management. The Village supports public information campaigns



with household and municipal-level action to reduce wildlife conflicts with humans.

- 5.6.27.** The Village will continue to partner with the RDEK for effective and responsible solid waste management.

## ELECTRICAL

**Objective 79:** Make our electrical infrastructure more resilient.

- 5.6.28.** Investigate opportunities for funding to bury the electrical lines in the Downtown, which will:

- a) Reduce pedestrian interruptions along sidewalks from electrical poles,
- b) Improve mountain and scenic views, and
- c) Provide a better Downtown experience.

- 5.6.29.** Electrical poles shall not be placed in the middle of sidewalks interrupting the pedestrian experience.

- 5.6.30.** Reduce our energy use by converting Village-owned infrastructure to lower energy appliances and fixtures, where practical.



## 5.7 FOOD SECURITY

### INTRODUCTION

Access to healthy food is a basic human right and a key component to a healthy community. Supporting access to food, and especially healthy food, throughout the year is important due to an increasingly number of food security challenges faced by the Village and the Columbia Valley region. Recent challenges for Radium Hot Springs have included the COVID-19 global pandemic, regional highway closures and other supply chain disruptions. The Village wants all of its residents to have food that is healthy and available when needed.

### OBJECTIVES

**Objective 80:** Support access to sustainable local food by encouraging

**local food production and access to locally and regionally grown foods.**

### POLICIES

- 5.7.1.** Support community initiatives which promote environmentally and agriculturally sustainable practices, such as community gardens, pollinator planting, a community compost program (e.g. compost pickup at transfer station), promotion of backyard composting, and rainwater collection.
- 5.7.2.** Continue to support food security by supporting farmers markets, supermarkets, and other retailers that offer healthy food options and fresh produce.
- 5.7.3.** Increase access to healthy and

affordable food retail and services within all neighbourhoods through land use planning, and through connections

created by [Active Transportation](#) networks and public transit.

## 5.8 AGRICULTURE

### INTRODUCTION

[Agricultural Land Reserve \(ALR\)](#) is shown on [Map 1: Environmental Assets](#).

The Natural and Hazard land use within this Plan contains the ALR within the Village. ALR will be protected from land uses and development that is not supported on ALR.

### OBJECTIVES

**Objective 81:** Support agriculture within and adjacent to the Village.

**Objective 82:** Recognize and support the mandate of the Agricultural Land Commission to preserve the Agricultural Land Reserve (ALR).

### POLICIES

- 5.8.1.** Where a property is adjacent to agricultural lands, encourage land uses that are compatible with adjacent agricultural uses, such as urban agriculture and passive

recreational uses. Encourage uses that accommodate people who may be at risk, such as seniors, children and people with health challenges, to parcels that are not adjacent to agriculture to limit interface incompatibilities.

- 5.8.2.** Ensure Recommendations from the Province of BC's [Guide to Edge Planning](#) are considered for all development applications adjacent to ALR Lands.
- 5.8.3.** Review subdivision layouts near ALR to ensure they limit potential urban encroachment into the ALR or other farming areas.
- 5.8.4.** Retain the agricultural land base for the long-term by supporting the ALR and by protecting agricultural lands from urban development and the impacts of adjacent development and redevelopment.
- 5.8.5.** Continue to support agricultural use within the ALR.

## 5.9 SOCIAL & WELLNESS

### INTRODUCTION

A community is about its people and it is important to maintain the physical and mental health of the Village's residents. While public health care is under provincial jurisdiction, there are plenty of ways the Village can support the wellness of its citizens.

### OBJECTIVES

**Objective 83:** Support and promote good public health, safety, and community wellbeing and sense of belonging.



**Objective 84: Plan for current and future community needs for access to medical and healthcare services.**

## POLICIES

- 5.9.1.** Continuing trying to attract medical services and professionals to the Village, such as a pharmacy, medical building, and physicians, nurses, chiropractors, physiotherapists, and others, at a scale achievable in the Village.
- 5.9.2.** Continue to collaborate with the Regional District of East Kootenay and not-for-profit organizations in the provision of regional social and community services and associated facilities.
- 5.9.3.** Support community or regional organizations to create programming and support systems for those

experiencing mental illness, persons with a disability, or in need of other social supports.

- 5.9.4.** Create neighbourhoods designed to encourage social interaction and community participation opportunities.
- 5.9.5.** Collaborate with local governments and interest groups to support initiatives that address regional issues such as social, childcare, transportation, housing, access to medical care, and food security.
- 5.9.6.** Collaborate with all levels of government and community organizations to support integrated planning and coordination of a continuum of health and wellness amenities, recreation programs and facilities, mental health supports, and social services.

## 5.10 ACCESSIBILITY

### INTRODUCTION

The Village is committed to being responsive to, identifying and remediating issues related to accessibility barriers that are brought forward by staff or Village residents. With growth, residents look for improvements to roads, sidewalks, levels of service, municipal infrastructure, communication avenues, and park space. The Village has been working to meet these challenges, however, must also balance those requests with the financial and operational capacity of the Village and its taxpayers. In recent years, there have been major projects completed in the Village which were undertaken with the goal of improving accessibility and residential satisfaction.

The Village of Radium Hot Springs completed the [Accessibility Plan](#) in 2023 to address accessibility challenges throughout the Village. The [Accessible British Columbia](#)

Act requires municipalities to consider the following principles when developing and updating accessibility plans: inclusion; adaptability; diversity; self-determination; and universal design.

### OBJECTIVES

- Objective 85: Consider different experiences and perceptions to accessibility issues in the Village including the needs of mobility impaired, visually impaired, hearing impaired and those with reduced strength or dexterity.**
- Objective 86: Meet or exceed accessibility standards in new and planned retrofits of municipal buildings and facilities.**

## POLICIES

- 5.10.1.** The Radium Hot Springs Accessibility Plan should be reviewed as part of annual capital planning processes.
- 5.10.2.** When designing civic facilities, public spaces, streetscapes, infrastructure, programs, services and communication materials, consider the needs of mobility impaired, visually impaired, hearing impaired and those with reduced strength or dexterity.
- 5.10.3.** Investigate establishing a minimum proportion of accessible parking stalls in multi-unit residential developments.
- 5.10.4.** Ensure streetscape and public realm improvements are barrier-free to

accommodate individuals of all abilities, including the elderly and those using mobility aids. This includes:

- a) Wheelchair ramps;
  - b) Accessible pedestrian signals at signalized intersections; and
  - c) Accessible curb ramps.
- 5.10.5.** The Village will work with partners to provide mobility options for all citizens, including seniors transportation, to ensure accessible, safe, affordable connectivity.
  - 5.10.6.** Enhance the accessibility of highway intersections to meet the needs of all ages and abilities.

## 5.11 INDIGENOUS RECONCILIATION

### INTRODUCTION

The Village is on the traditional and unceded territory of the Ktunaxa and Secwepemc peoples and the chosen home of the Metis.

### OBJECTIVES

- Objective 87: Maintain and strengthen respectful relations with Indigenous governments.**
- Objective 88: Identify and protect archaeological sites.**

### POLICIES

- 5.11.1.** Continue to refer relevant matters to local First Nations.
- 5.11.2.** Recognize and acknowledge the traditional territories of Indigenous nations at the start of public meetings and events.
- 5.11.3.** Look for opportunities to partner with Indigenous communities on housing projects.

- 5.11.4.** Look for opportunities to partner with Indigenous communities on regional economic initiatives.
- 5.11.5.** Identify and protect archaeological sites in accordance with the Heritage Conservation Act.
- 5.11.6.** Raise public awareness about the value of archaeological sites and their protection under the Heritage Conservation Act.



## 5.12 ECONOMIC DEVELOPMENT

### INTRODUCTION

The Village of Radium Hot Springs is fortunate to have two long-standing economic sectors within its boundaries: tourism and forestry. While both of the industries have ups and downs they support a variety of businesses and attract residents to the Village.

The Village wants to maintain and grow its local economy to ensure that Radium Hot Springs continues to be a vibrant place with a diversity of people and businesses. The Village is uniquely positioned in the Columbia Valley to attract people due to its housing opportunities, close proximity to recreational opportunities and Kootenay National Park, and its diversity of housing types (e.g. many smaller housing units).

With its relative affordability and high natural amenity, the Village has an opportunity to attract members of the roughly 20% of BC and Canadian workforce who are independent and sectors with more footloose workforce. Presently approximately 10% of residents work from home and 15% are self-employed. Attracting independents has key benefits including addition to permanent population and purchasing support to a business community that is sustained by 24/7/365 population presence. Another key economic strategy is converting part-time residents into full-time residents, which adds to the year-round economic activity in the Village and region.

Regulation of *Short-Term Rentals* will support attraction of independents with housing availability, choice, and affordability while also nurturing housing supply for workforce hired by a more entrepreneurial component of community life.

### OBJECTIVES

**Objective 89: To continue to have a vibrant**

**and diversified economy  
the Village's key economic  
strategies include:**

- Supporting the forestry industry to help maintain stable full time jobs for citizens;
- Supporting the tourism industry through continued physical infrastructure improvements, coordination of traffic with the *Ministry of Transportation & Transit (MOTT)*, and marketing the Village;
- Attracting those who are self-employed and/or work from home;
- Supporting artisan and small manufacturing through flexible zoning;
- Encouraging part-time residents to move to the Village full-time.

### POLICIES

- 5.12.1.** Create a Destination Development Plan that can support the Village's Resort Development Strategy as well as continue to make the Village a national and international destination.
- 5.12.2.** The Village will continue to support the lumber mill by:
  - a) Ensuring access roads and other infrastructure are adequate and maintained;
  - b) Communicating regularly with operators and/or sites managers;
  - c) Helping to ensure adequate housing is available within the Village for existing or potential employees;
  - d) Managing land use and development in the vicinity to minimize conflicts;
  - e) Partnering to minimize flood risk to mill facilities and Village infrastructure in that area of the Village.
- 5.12.3.** The Village will continue to support the tourism industry by:
  - a) Ensuring infrastructure can adequately service the peak tourism

industry (e.g. water, sewer, roads, parks, sidewalks/paths);

- b) Partnering with Parks Canada on marketing key destinations, public information, events and other matters;
- c) Listening and responding to the needs of tourism business owners;
- d) Improving the public infrastructure in the busiest areas, including pathways, sidewalks, roads, parking areas, and parks in the Downtown and Highway 93 areas;
- e) Supporting the golf industry as a tourism destination;
- f) Continuing to advertise and market the Village as a tourism destination.

**5.12.4.** The Village will look to attract those who work from home, including by turning part-timers into

full-timers, through:

- a) Ensuring there is adequate high-speed Internet service providers throughout the Village;
  - b) Marketing the Village as a year-round destination for the self-employed and those who work from home;
  - c) Continuing to support the Radium Hot Springs Public Library, which can support the self-employed and entrepreneur community by providing additional work space, learning, and socialization; and
  - d) Regulating *Short-Term Rentals* to add greater certainty and affordability to the housing market.
- 5.12.5.** Support home-based businesses in general, artisan and craft manufacturing, through flexible zoning regulations.

## 5.13 SAND & GRAVEL RESERVES

### INTRODUCTION

Provincial legislation requires Official Community Plans to identify the approximate location of their sand and gravel deposits that are suitable for future extraction.

There are currently no active sand and gravel operations within the Village. There are active pits outside the Village.

### OBJECTIVES

**Objective 90: Ensure that sand and gravel extraction has no negative impacts on human or environmental health.**

### POLICIES

- 5.13.1.** No sand and gravel reserves have been identified in this Plan. Sand and gravel extraction activities will be directed to sites outside of Village boundaries.
- 5.13.2.** Where possible, sand and gravel

extraction should be discouraged within the Village boundaries; however, if extraction does occur, any extraction activities shall:

- a) Avoid *Environmentally Sensitive Area(s) (ESA)*;
- b) Ensure adequate setbacks to residential, institutional, community and commercial use areas;
- c) Minimize negative impacts from truck traffic;
- d) Remediate the site when extraction is completed;
- e) Require sand and gravel operations to use best management practices to reduce impacts on neighbouring properties and along truck routes; and
- f) Use preventative measures such as controlling hours of operation, dispersion of dust, access and screening.



# SECTION 6

## 6. HOW WE PROTECT & ENHANCE

### 6.1 WHAT IS A DEVELOPMENT PERMIT?

#### INTRODUCTION

A development permit is a tool used by municipalities to guide development in a specific area and ensure it aligns with the overall vision and objectives of the community. Development permits are authorized under the *Local Government Act* of British Columbia and are typically required in addition to other approvals such as zoning and subdivision.

Development Permit Areas (DPA)s are accompanied by specific guidelines that outline the objectives and criteria for development within the designated area. These guidelines can cover a wide range of aspects, from building setbacks and heights to landscaping requirements and environmental protection measures. When evaluating development permit applications, municipalities consider compliance with these guidelines to ensure

the proposed development aligns with the DPA's objectives.

In this Official Community Plan, there are two types of DPAs:

1. Environmental & Hazard DPAs; and
2. Form & Character DPAs.

#### OBJECTIVES

Both DPAs have different objectives. Environmental & Hazard DPAs are intended to:

**Objective 91: Protect the natural environment, its ecosystems, and biological diversity. This could involve protecting watercourses, riparian areas, wetlands, and natural ecosystems from negative impacts of development;**

**Objective 92: Protect development from hazardous conditions such as flooding, steep slopes, wildfire, and unstable soil. This involves ensuring that development is safe and does not put people or property at risk;**

**Objective 93: Promote energy and water conservation and the reduction of greenhouse gas emissions; and**

Form & Character DPAs are intended to:

**Objective 94: Guide the form and character of commercial, industrial, and multi-family residential development. This includes regulating building design, landscaping, and site layout to ensure that development is aesthetically pleasing and compatible with the surrounding area;**

**Objective 95: Revitalize areas where commercial uses are permitted. This could involve encouraging mixed-use development, promoting pedestrian-friendly streetscapes, and enhancing the overall vibrancy of commercial areas;**

#### APPLICATION REQUIREMENTS

When a Development Permit Area (DPA) is designated, property owners within that area are typically required to obtain a development permit before they can undertake certain activities.

These activities include:

- Subdividing land;
- Constructing new buildings or structures;
- Making additions to, or alterations of, existing buildings or structures; and
- Altering land, including clearing, grading, and disturbing soil.

In instances where a single property is located within multiple DPAs, the development would be subject to the requirements of all applicable DPAs.

#### EXEMPTIONS

Activities may be exempt from requiring a development permit, even if they are located within a DPA.

The following exemptions apply to these DPAs:

1. Flood Hazard DPA;
2. Steep Slope Hazard DPA;
3. Riparian & Natural ecosystem DPA;
4. Downtown Mixed-Use DPA;
5. Highway Tourism Mixed-Use DPA; and
6. Mixed-Use & Multi-Unit Residential DPA:
  - a) Use of lands designated as Agricultural Land Reserve in compliance with the *Agricultural Land Commission Act* and the *Agricultural Land Reserve General Regulation*;
  - b) Construction of fences;
  - c) Construction of a new accessory building or structure less than 10m<sup>2</sup> in floor area;
  - d) Uncovered decks and unenclosed porches;
  - e) Interior alterations to a building;
  - f) Replacement, upgrading or repair of roofing, windows, paint or signage (Permitting under the Village's Sign Bylaw may be required);
  - g) Installation, repair or placement of utilities, infrastructure or flood protection works by the Village or authorized agencies;
  - h) General road construction or maintenance within the right-of-way;
  - i) Removal of danger trees under direction of a qualified arborist;
  - j) Removal of *Invasive Species*;
  - k) Removal or replacement of flammable vegetation and materials



for the purposes of wildfire fuel reduction; and

- l) Any development or works undertaken by a municipal, provincial or federal government.

The following exemptions apply to these DPAs:

**1. Wildfire DPA:**

- a) Interior alterations to a building;
- b) Replacement, upgrading or repair of windows, paint or signage (Permitting under the Village's Sign Bylaw may be required);
- c) General road construction or maintenance within the right-of-way;
- d) Removal of dangerous trees under direction of a qualified arborist;
- e) Removal of *Invasive Species*;
- f) Removal or replacement of flammable vegetation and materials for the purposes of wildfire fuel reduction; and
- g) Any development or works undertaken by a municipal, provincial or federal government..

All developments must comply with the Village of Radium Hot Springs Zoning Bylaw and all applicable Village policies and bylaws.

## APPLICABILITY

### ENVIRONMENTAL & HAZARD DPAS

Radium Hot Springs has the following Environmental & Hazard DPAs:

1. Flood Hazard DPA as identified on *Map 9: Flood Hazard DPA*;
2. Steep Slope Hazard DPA as identified on *Map 10: Steep Slope DPA*;
3. Riparian DPA as identified on *Map 11: Riparian Area DPA*; and
4. Wildfire DPA that applies to all lands in the Village of Radium Hot Springs.

### FORM & CHARACTER DPAS

Radium Hot Springs has the following Form & Character DPAs as identified on *Map 12: Form & Character DPAs*:

1. Downtown Mixed-Use DPA;
2. Highway Tourism Mixed-Use DPA;
3. Mixed-Use & Multi-Unit Residential DPA; and
4. Industrial DPA.



## 6.2 ENVIRONMENTAL & HAZARD DPAS

### INTRODUCTION

The objective of the "Environmental & Hazard Development Permit Areas" is to increase the resiliency and sustainability of Radium Hot Springs in the face of climate change through the regulation of land uses within *Hazard Areas* and protection of *Environmentally Sensitive Area(s) (ESA)*. The policies within this Development Permit Area (DPA) support the protection of natural areas, air and water quality, within the Village, as well as protecting the community from the hazards posed by developing on, or in proximity to, steep slopes, floodplains and wildfire interface areas.

In general, "Environmental & Hazard Development Permit Areas" establish

objectives for the protection of the natural environment and protection of development from hazardous conditions pursuant to the provisions of the *Local Government Act*. Specific authorities are provided in each section.

### POLICIES

#### ENVIRONMENTAL & HAZARD PROTECTION

- 6.2.1. Require lands within an "Environmental & Hazard DPA" to remain free of development and in their natural condition except in accordance with conditions contained within a Development Permit.



APPLICATION REQUIREMENTS

- 6.2.2.** Where any “Environmental & Hazard Development Permit Area” policy unreasonably constrains development, consider permitting a lesser setback or other relaxation in accordance with information and conditions provided by a “*Qualified Professional (QP)*” to certify the land may be safely used without liability on the Village, as intended without impacting the natural environment, according to objectives in each DPA and the following conditions:
- a) The “QP” must prepare a report that may be included in the Development Permit regarding conditions of development to allow the land to be safely used as intended without impacting the natural environment;
  - b) The “QP” must certify a statement upon completion that the development was carried out in compliance with the conditions specified in the Development Permit;
  - c) The “QP” must provide a “*Declaration of Competency*” to provide assurance to the Village that they are acting within their expertise, training and experience regarding the specific work they are being hired for;
  - d) The “QP” must provide a “*Conflict-of-Interest Disclosure Statement*” regarding any potential conflict, real or perceived, that could call into question the objectivity of their advice;
  - e) The Village may require third party “QP” review of the report to verify findings or development conditions; and
  - f) All reports are prepared at the applicant’s expense.
- 6.2.3.** Additional site-specific information may be required as a part of the Development Permit application process as identified in the

Development Procedures Bylaw.

GUIDELINES

- 6.2.4.** A site-specific stormwater management plan shall:
- a) Be designed to manage sediment and run-off during construction for areas within any of the “Environmental & Hazard DPAs”;
  - b) Be undertaken by a “QP” or related professional;
  - c) Demonstrate that post-development flows do not exceed pre-development flows into watercourses; and
  - d) Identify erosion and sediment control measures that will be implemented during construction of all developments to minimize the flow of sediment into the surrounding environment.
- 6.2.5.** Retain and restore, where appropriate, vegetation and soils to control runoff, and protect natural ecosystems and habitat values.
- 6.2.6.** Retain all high-value wildlife trees, as identified by a certified danger tree assessor.
- 6.2.7.** Lighting should be compliant with the Royal Astronomy Society of Canada *Dark Sky* polices for Outdoor Lighting.
- 6.2.8.** *Land Alteration* of the natural drainage courses and topography of the site shall be minimized.
- 6.2.9.** Total impervious surface coverage of properties in the “Environmental & Hazard DPA” should be minimized.
- 6.2.10.** Restrict fencing that impedes wildlife movement corridors and natural habitat connectivity throughout the community.

6.3 FLOOD HAZARD DPA

INTRODUCTION

Flood hazard lands are areas susceptible to flooding from adjacent watercourses, lakes, or other bodies of water. These areas are often referred to as floodplains, and they play a crucial role in natural flood processes, such as flood storage and attenuation. However, due to their susceptibility to flooding, development on these lands presents significant risks to both human life and property.

Generally, development within flood *Hazard Areas* should be avoided. This approach helps preserve the natural function of floodplains and protect development from flooding. Some development within floodplains may be permissible under certain conditions, such as when supported by a qualified professional’s report or when the development prioritizes uses less sensitive to flooding.

OBJECTIVES

- Objective 96:** Prevent the loss of floodable open space, which is critical for floodplain function such as protecting the natural environment, its ecosystems and biodiversity.
- Objective 97:** Support the protection of life and property in Radium Hot Springs, including the protection of development from hazardous conditions.

APPLICABILITY

“Floodplains” means all lands within the 1:200 year (0.5% probability of annual occurrence) floodplains of the Columbia River as shown on *Map 9: Flood Hazard DPA* that are subject to regular flood hazards.

Lands subject to regular flood hazards have planning requirements and regulations, including the policies in this section as well as

provincial and federal laws.

EXEMPTIONS

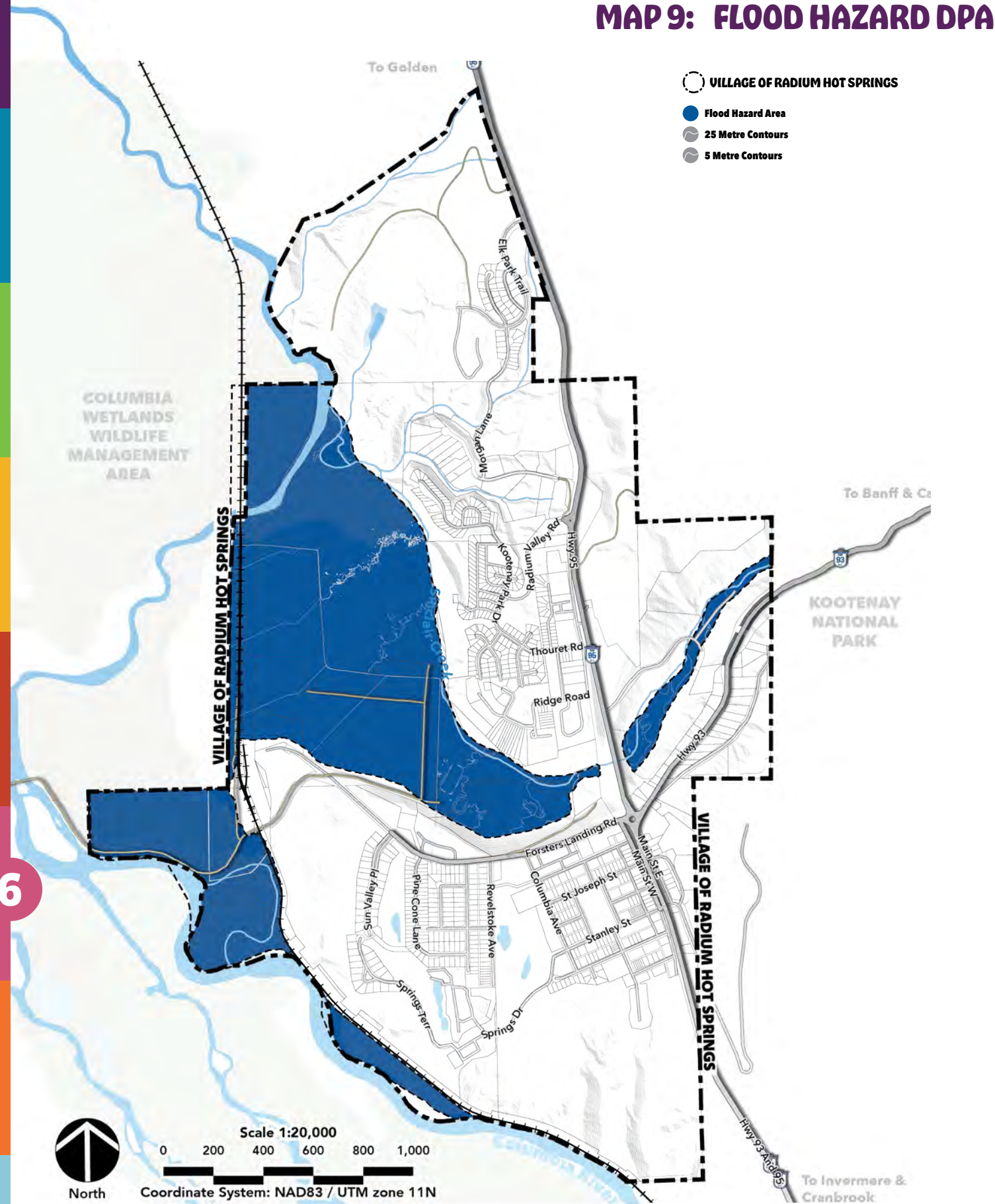
The Floodplain DPA may not apply in areas protected by dikes or other flood protection infrastructure that meet the Village’s flood mitigation standards.

POLICIES

- 6.3.1.** The “Flood Hazard DPA”, shall remain free of development and in its current condition unless the proposed development is supported by a report from a “*Qualified Professional (QP)*” which demonstrates the land is suitable for the proposed development and provides recommendations to mitigate any identified risk to the safety of life and property.
- 6.3.2.** Require developments to refrain from altering natural flow, flood storage or attenuation, or other natural floodplain processes.
- 6.3.3.** Where possible, reduce the flood hazard to existing permanent structures on the property by:
- a) Adding scour protection around foundations; and
  - b) Raising the habitable space and utility systems (e.g. electrical panels, heating and cooling units) to flood construction levels or higher.
- 6.3.4.** Locate structures as close as possible to the landward edge of floodplain properties to limit the length of driveways, utility corridors and other infrastructure within floodplain lands to the greatest extent possible.
- 6.3.5.** Refrain from filling low-lying areas within floodplains that provide flood attenuation or riparian and wetland habitat.



# MAP 9: FLOOD HAZARD DPA



## 6.4 STEEP SLOPE HAZARD DPA

### INTRODUCTION

The Village contains several areas where natural hillsides and riverbanks create potentially hazardous conditions for development, such as rock fall, landslide, and subsidence that present significant risks to both human life and property as identified on **Map 10: Steep Slope DPA**. Hillside areas are subject to erosion if not properly rehabilitated. Many of these slopes also contain sensitive ecosystems, such as rock outcrops and **Riparian Areas**.

New development in these areas should generally be avoided to reduce natural hazards and protect the natural environment.

Steep slope areas in Radium Hot Springs include a buffer area that is set back from the toe of the slope and the top of bank. Buffers vary in width dependent on the height and connectivity to adjacent slopes. Development in this area should also be limited to reduce the risks of slope failure.

The purpose of protecting these areas includes:

- **Reducing the Risk of Impacts from Slope Instability:** Steep slope and buffer areas provide a safety zone to minimize the risks associated with landslides, erosion, debris flows, rock falls, and subsidence. By keeping development away from the most unstable areas, these buffers help protect life, property, and infrastructure from potential damage.
- **Protecting the Natural Environment:** Steep slope and buffer areas help preserve the ecological integrity of steep slope areas by minimizing **Disturbance** to vegetation, soil, and drainage patterns. This protection is essential for maintaining biodiversity, water quality, and the overall health of the ecosystem.
- **Mitigating Visual Impacts:** Steep slope and buffer areas help minimize the visual impact of development on the landscape

by preserving natural viewsheds and reducing the visibility of structures from surrounding areas. They also help maintain the scenic beauty and aesthetic character of steep slopes, which are often valued community assets.

- **Reducing the Risk of Erosion and Sediment Runoff:** Steep slope and buffer areas help control erosion and sediment runoff by preserving natural vegetation, which acts as a protective barrier and filter. This is particularly important for protecting water quality in nearby streams and water bodies.
- **Providing Space for Slope Stabilization Measures:** Steep slope and buffer areas can provide space for implementing slope stabilization measures, such as terracing, planting, and drainage improvements. These measures can help reinforce the stability of slopes and minimize the risk of future hazards.
- **Facilitating Wildlife Movement and Habitat Connectivity:** Steep slope and buffer areas can serve as corridors for wildlife movement, connecting fragmented habitats and promoting biodiversity. This is especially important in areas where development has encroached upon natural areas.

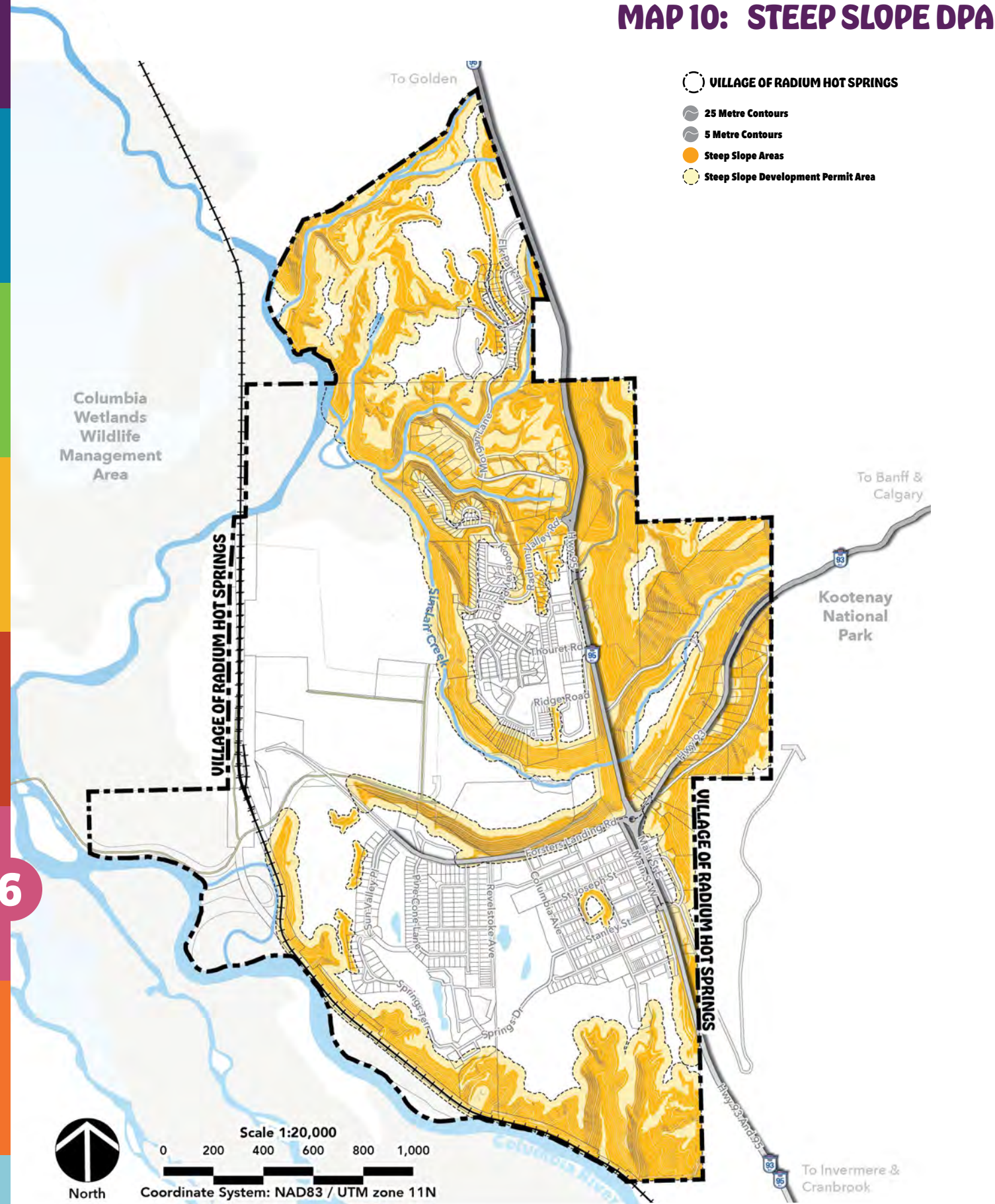
### OBJECTIVES

**Objective 98:** Protect the natural environment, its ecosystems and biological diversity.

**Objective 99:** Protect development from hazardous conditions.



# MAP 10: STEEP SLOPE DPA



## APPLICABILITY

As generally shown on **Map 10: Steep Slope DPA** includes:

- Steep slopes are considered all lands that have a slope greater than 20% grade.
- Buffer Areas around steep slopes include both the toe of the slope and top of bank to a maximum of 30 metres.

The width of the buffer zone can vary depending on the specific hazards present, the sensitivity of the surrounding environment, and the development context. In some cases, a qualified professional may recommend a larger buffer than the minimum prescribed in the regulations to address site-specific conditions.

## POLICIES

- 6.4.1.** Steep slopes, understood to be lands with a natural slope in excess of 20%, shall remain free of development and in their natural condition until a report prepared by a "Qualified Professional" (QP) outlines how development can proceed.
- 6.4.2.** Steep slope buffer areas, understood to be lands up to 30 metres from the top and toe of the slope, shall remain free of development and in their natural condition until a report prepared by a QP outlines how development can proceed.
- 6.4.3.** Notwithstanding **Policy 6.4.1** and **Policy 6.4.2**, where the steep slope area renders a property undevelopable, development may be permissible in accordance with a report provided by a QP that is registered as a schedule of a S.219 restrictive covenant:
  - a) Identifying a safe minimum setback;
  - b) Detailing how the development will mitigate erosion, land slip, rock falls or subsidence;
  - c) Explanation of how the development will not pose hazards to developments on or near the site; and
  - d) Includes a statement that no liability or maintenance requirements will become the responsibility of the Village at any time.
- 6.4.4.** Require developments to mitigate any potential erosion, landslip, rock falls or subsidence and to avoid posing any hazards to other developments or public roadways near the site.
- 6.4.5.** Construct accesses to minimize slope disturbance.
- 6.4.6.** Avoid directing stormwater, placing fill, excavated material, sand or soil near the top of slope.
- 6.4.7.** Require a stormwater management plan prepared by a "Qualified Professional (QP)" to limit impervious surface and manage erosion, sediment, and run-off as per the Village's "Subdivision and Development Servicing Bylaw" for any development in the "Steep Slopes DPA."
- 6.4.8.** To reduce the potential of slope failure, the removal of vegetation within the "Steep Slopes DPA" is not permitted unless reviewed and supported by a "Qualified Professional (QP)", including any recommendations to mitigate any negative impacts to the natural environment.
- 6.4.9.** Design the development to:
  - a) Minimize any **Land Alteration** to steep slopes;
  - b) Reflect the site's natural topography;
  - c) Limit engineered solutions (e.g. retaining walls) as only a last resort measure; and
  - d) Incorporate measures to restore or enhance the natural grade, soils and vegetation during and after development.
- 6.4.10.** Design any structural or slope mitigation measures by a "Qualified Professional (QP)".



- 6.4.11.** Where pre-existing restrictive covenants exist, the policies of the Steep Slope DPA take precedence.

## SITE DESIGN AND CONSTRUCTION GUIDELINES

- 6.4.12.** Developments should be designed to minimize disturbance to the natural topography, respecting existing contours and minimizing cut and fill operations.
- 6.4.13.** Building designs should integrate with the slope, utilizing stepped and articulated forms rather than large, uniform structures.

- 6.4.14.** Developments should incorporate erosion and sediment control measures during and after construction.
- 6.4.15.** Stormwater management plans are typically required to ensure proper drainage and minimize erosion.
- 6.4.16.** Vegetation should be preserved and restored to enhance slope stability and protect the natural environment while considering forest fuel management objectives.
- 6.4.17.** Retaining walls should be minimized and carefully designed to mitigate visual impacts and ensure stability.

## 6.5 RIPARIAN AREA DPA

### INTRODUCTION

The Village contains several *Riparian Areas*, such as streams, rivers, ponds, and wetlands. *Riparian Areas* assist with management of floods and stormwater, mitigate the effects of extreme weather, absorb carbon, and provide habitat and movement corridors for species of all sizes.

Development in these areas should generally be avoided to reduce the impacts of flooding, and maintain a healthy natural environment.

The benefits of protecting these areas include:

- **Biodiversity and Habitat:** These areas support a wide range of plant and animal species, many of which are rare or at risk.
- **Water Quality and Quantity:** *Riparian Areas* act as natural filters, protecting water quality by reducing erosion and filtering pollutants. They also play a vital role in regulating water flow, mitigating flood risk, and maintaining healthy aquatic ecosystems.
- **Ecosystem Services:** Riparian ecosystems provide valuable *Ecosystem Services*, such as carbon sequestration, air and water purification, pollination, and climate

regulation. These services contribute to human well-being and economic prosperity.

- **Recreation and Aesthetics:** These areas often offer recreational opportunities, such as hiking, fishing, and wildlife viewing. They also contribute to the scenic beauty and aesthetic character of communities.

Riparian Area DPAs include a buffer around *Riparian Areas* dependent on their significance.

Development in *Riparian Areas* and their associated buffers require a report from a "*Qualified Environmental Professional (QEP)*" is required.

### OBJECTIVES

**Objective 100: Protect water quality.**

**Objective 101: Protect areas prone to flooding and inundation.**

**Objective 102: Protect riparian habitats and related ecosystems.**

**Objective 103: Protect high-value wildlife habitat.**

### APPLICABILITY

The "Riparian & Habitat DPA" represents areas identified from surface water layers within Provincial databases, which include Lakes, Rivers, Streams, and Wetlands. High-value habitat areas are identified from Schedule B in Radium Hot Springs Bylaw No. 396, 2013. These areas make up the Development Permit Area as shown on **Map 11: Riparian Area DPA**.

*Riparian Areas* are mapped and identified with the following spatial boundaries:

- 60 metres from the edge of lakes and rivers;
- 35 metres from the centreline of streams; and
- 30 meters from the edge of wetlands.

### RIPARIAN AREA POLICIES

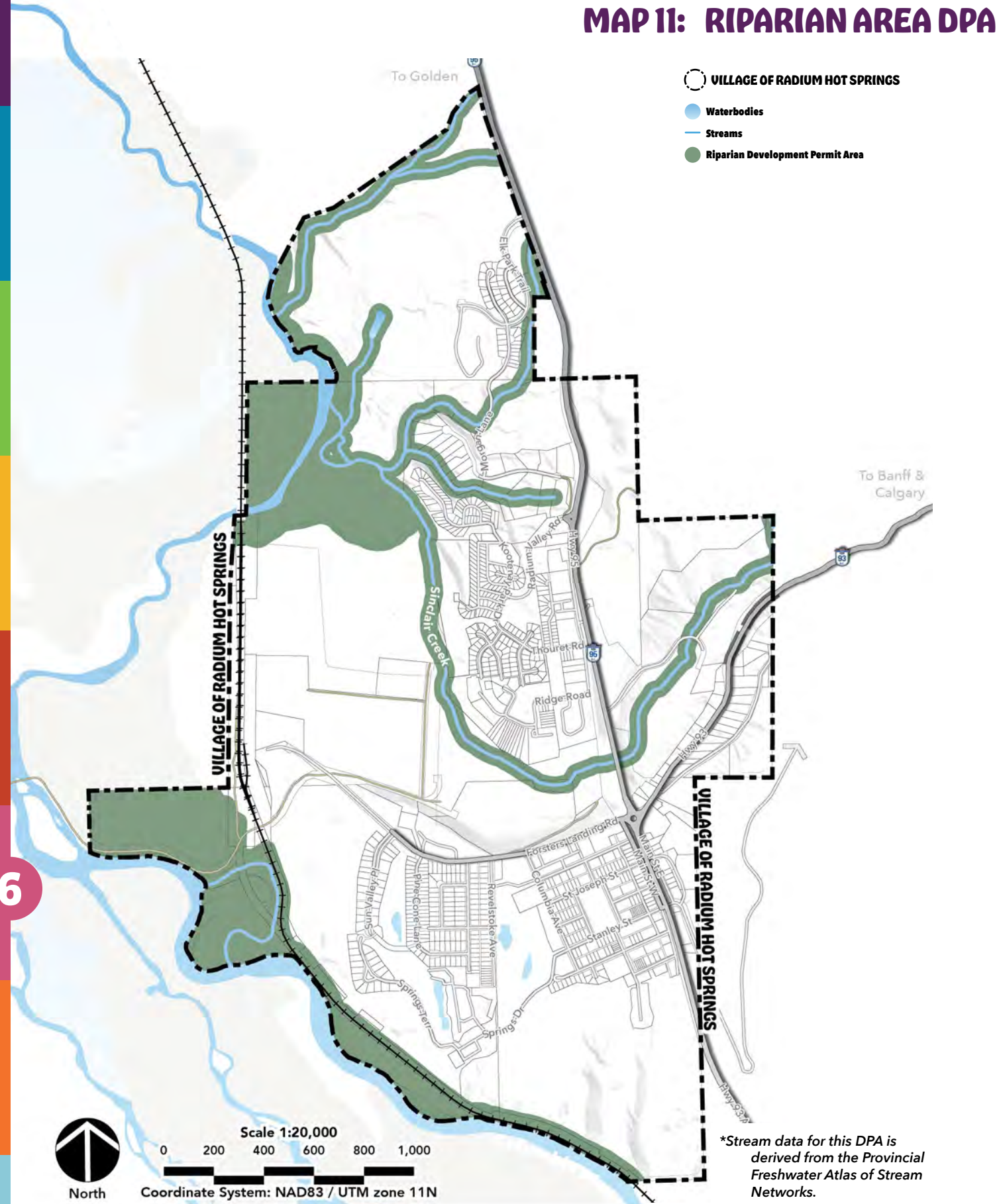
- 6.5.1.** Require development and all associated clearing, grading and landscaping to be a minimum of:
- a) 60 metres from the "*Natural Boundary*" of the Columbia River;
  - b) 30 metres from the "*Natural Boundary*" of creeks and streams; and
  - c) 30m from the "*Natural Boundary*" of wetlands.
- 6.5.2.** Where, through mapping error or scale, the proponent identifies that the classes or boundaries of *Riparian Areas* may be incorrect, require the proponent to retain a "*Qualified Environmental Professional (QEP)*" to map and confirm current boundaries and buffers, and submit the results to the Village.
- 6.5.3.** Notify senior government agencies through referral where development or land clearing is understood to be occurring within or adjacent to *Critical Habitat for Endangered and Threatened Species*.
- 6.5.4.** Require developments to avoid

sensitive areas and mitigate any impacts on the *Riparian Area*, sensitive ecosystem, or stream flow, drainage patterns and channel geometry.

- 6.5.5.** Maintain and/or restore vegetation within the required *Riparian Area* setback to minimize erosion.
- 6.5.6.** Retain standing dead trees with wildlife habitat attributes where they do not pose hazards to the development or the risk can be appropriately mitigated in accordance with the recommendations of a "*Qualified Environmental Professional (QEP)*".
- 6.5.7.** Incorporate plants native to British Columbia and the Radium Hot Springs area, and select them in accordance to Wildfire fuel reduction strategies wherever possible.



MAP 11: RIPARIAN AREA DPA



6.6 WILDFIRE DPA

INTRODUCTION

A Wildfire Development Permit Area (DPA) is a regulatory tool used by municipalities to mitigate the risk of wildfire damage to properties and communities. The Wildfire DPA covers the entire Village and requires developments to follow specific guidelines aimed at reducing wildfire hazards.

Before undertaking development activities within a Wildfire DPA, property owners are generally required to obtain a development permit. The Wildfire DPA plays a crucial role in reducing the risk of wildfire damage and enhancing community safety.

OBJECTIVES

- Objective 104:** Protect property and lives from wildfire.
- Objective 105:** Minimize the risk of fire spreading to wildland areas.
- Objective 106:** Promote responsible development practices in wildfire-prone areas.

APPLICABILITY

All lands within the Village of Radium Hot Springs are subject to the Wildfire DPA.

EXEMPTIONS

- 6.6.1.** While Wildfire DPAs impose restrictions on development, there are often exemptions to these requirements. Exemptions to this Development Permit Area includes:
  - a)** Actions to protect Life or Property necessary to prevent immediate threats.
  - b)** Activities related to normal farm practices in accordance with relevant legislation.

POLICIES

GENERAL

- 6.6.2.** All lands, including undeveloped lots and common areas within existing subdivisions must be assessed and managed as required for wildfire safety by the property-owner or strata manager.
- 6.6.3.** Where wildland areas abut new subdivisions, consider placing roadways and/or trails adjacent to the wildland areas to improve access to the interface for emergency vehicles, and provide a fuel break between the wildland and the subdivision.
- 6.6.4.** Where possible, design subdivisions so building sites are located on the flattest areas of the property.
- 6.6.5.** Buildings located near the crest of a 20% slope should be located a minimum of 10 metres from the crest.
- 6.6.6.** For buildings located within 10 metres of the crest of a 20% or greater slope, additional fuel reduction is required on the downslope of the home.
- 6.6.7.** Avoid gullies or draws that accumulate fuel and funnel winds.

ROOFING MATERIALS

- 6.6.8.** Roofing materials must be of a ULC/ ASTM Class A fire rating.

EXTERIOR CLADDING & PROJECTIONS

- 6.6.9.** Any material used for exterior wall finishes must be non-combustible such as stucco, metal siding, brick, cement shingles, or non-combustible cladding.
- 6.6.10.** Wood, Vinyl and treated wood siding are not permitted.
- 6.6.11.** Notwithstanding **Policy 6.6.10** wood trim and architectural features are exempt from this requirement.



**6.6.12.** Treated wood siding is not considered suitable as the treatment loses effectiveness and must be reapplied.

**6.6.13.** Wood trim and architectural features must have a 15 cm ground to feature non combustible vertical clearance.

**6.6.14.** Skirt Manufactured Homes with a fire-resistant material.

#### EXTERIOR DOORS AND WINDOWS

**6.6.15.** Window sills should be made of fire-resistant materials.

#### EAVES, SOFFITS, AND VENTS

**6.6.16.** Roof eaves must be boxed in or soffit design.

**6.6.17.** All eaves should be enclosed with properly fitted, non-combustible soffits and fascia.

**6.6.18.** Vents (other than dryer vents) should be covered by non combustible 3 mm mesh.

**6.6.19.** Gutters and gutter fascia board must be constructed from non-combustible material or covered in metal.

#### CHIMNEYS

**6.6.20.** A spark arrester should be installed for all wood burning fire appliances.

#### DECKS

**6.6.21.** Decks should be constructed of non-combustible or fire rated material

**6.6.22.** Deck joists should be capped with flashing or foil tape.

**6.6.23.** Create and maintain a non combustible surface under and for 1.5 metres around the deck.

#### LANDSCAPING

**6.6.24.** Wildfire fuel reduction strategies are required on the whole property area intended for development and must include:

- a) a 1.5 metre non-combustible zone must be created and maintained around all structures and

attached decks;

- b) All coniferous trees 25 centimetres or less in circumference at 1.5 metres above ground must be removed within 30 metres from any proposed developments. All Rocky Mountain Junipers of any size must be removed from this 30 metre-zone. All remaining coniferous trees in this 30-metre zone must be pruned up 2.0 metres from the ground removing all limbs. All new plantings must be leafy trees or shrubs;

- c) Reduction of surface fuels must also be completed to reduce surface fire intensity; and

- d) Following all Municipal and Provincial burning regulations and guidelines.

**6.6.25.** In the case of subdivision all Coniferous trees 25 centimetres or less in circumference at 1.5 metres above ground must be removed on the entire property, including the remainder parcel. All Rocky Mountain Junipers of any size must be removed. All remaining coniferous trees must be pruned up 2.0 metres from the ground removing all limbs. All new plantings must be leafy trees or shrubs.

**6.6.26.** Notwithstanding Policy 6.6.24 above, a prescription for Wildfire risk reduction fuel treatment prepared and confirmed after fuel reduction treatment by a BC Registered Professional Forester that reduces the Wildfire threat to no less than moderate (as defined in the Village's Community Wildfire Resiliency Plan) across the entire property, including the remainder parcel, may be applied to lands to be subdivided including the parent parcel. All new plantings must be leafy trees or shrubs..

**6.6.27.** For owners of larger lots the treatments listed for the home and adjacent 10.0 metres must be applied as follows:

- a) 10.0-30.0 m from the structure must be fuel treated with the 30.0-100.0

m distance to be recommended for fuel treatment.

**6.6.28.** Bark mulch is prohibited.

**6.6.29.** Fire Resistant Deciduous trees and vegetation may be planted in the area 1.5 to 10.0 m from the structure.

**6.6.30.** Fences should be constructed from non-combustible material.

**6.6.31.** If fences are constructed from combustible material they should be located greater than 1.5 m from the structure and must have a 1.5 m non-combustible section where they connect to a home or structure.

**6.6.32.** Piled debris (firewood, building materials, and other combustible material) should be kept 10 m or further from any structure and not exceed 2 m in diameter or 2 m in height.

**6.6.33.** Burn piles are not permitted on ridge crests or within 15-20 m of terrace margins.

**6.6.34.** The following landscaping provisions should be followed for any subdivision or multi-unit residential development:

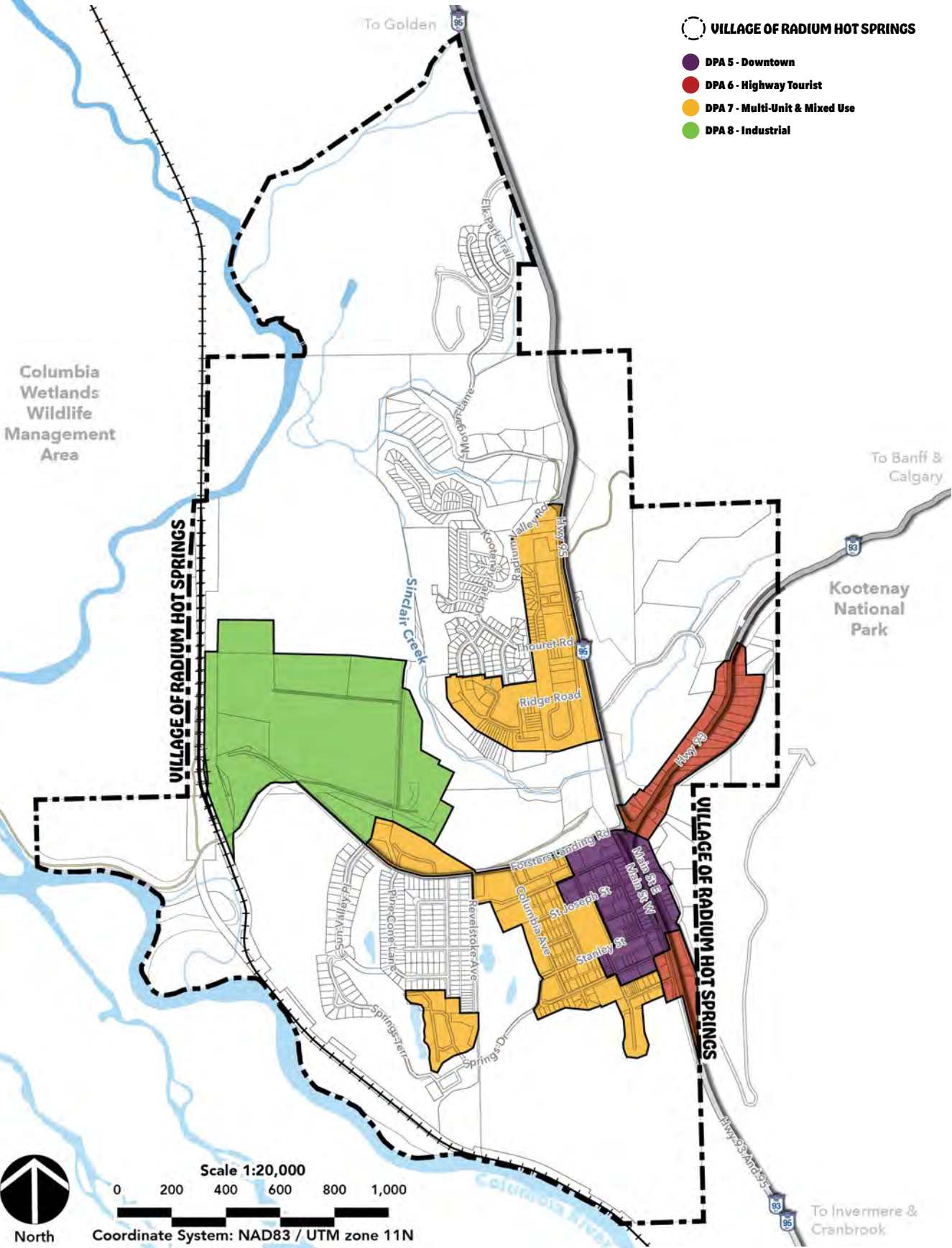
- i) A [Landscape Plan](#) is required that shows the mature spread of trees;
- ii) A wildfire fuel reduction maintenance plan that outlines how wildfire hazard will be continually managed in perpetuity; and
- iii) The annual removal of surface litter, downed trees, and dead and dying trees from private properties, and shared common areas.



FIGURE 11: FIRESMART HOME IGNITION ZONE



MAP 12: FORM & CHARACTER DPAS



6.7 FORM & CHARACTER DPAS

INTRODUCTION

Form and character development permit areas (DPAs) are regulatory tools used by municipalities to guide the aesthetic and functional qualities of new development, ensuring they harmonize with the existing community character and enhance the overall quality of the built environment.

OBJECTIVES

Form & Character DPAs:

- Objective 107: Promote High-Quality Design:**  
Encouraging developers to prioritize design excellence and create buildings and public spaces that are visually appealing, functional, and contribute to the overall attractiveness of the community.
- Objective 108: Preserve and Enhance Community Character:** Ensuring new development respects the existing character of the community.
- Objective 109: Create a Sense of Place:** Promoting design elements that create a distinct sense of identity and belonging, fostering a sense of pride in the community.
- Objective 110: Enhance Pedestrian Experience:** Encouraging pedestrian-friendly design elements, such as well-defined sidewalks, comfortable street crossings, attractive landscaping, and building facades that engage with the street to create walkable, safe, and convenient environments.
- Objective 111: Promote Sustainability:** Encouraging sustainable design practices that minimize environmental impacts.

APPLICABILITY

- 6.7.1. The policies and guidelines in this section apply to all commercial, Mixed-Use and multi-unit residential development within the following Development Permit Areas on **Map 12: Form & Character DPAs**:
- a) Downtown Mixed-Use;
  - b) Highway Tourist Mixed-Use; and
  - c) Multi-Unit Mixed-Use Residential.

POLICIES

- 6.7.2. In the event of a conflict between guidelines in the Form & Character DPAs and specific Development Permit Areas, the specific guidelines prevail.

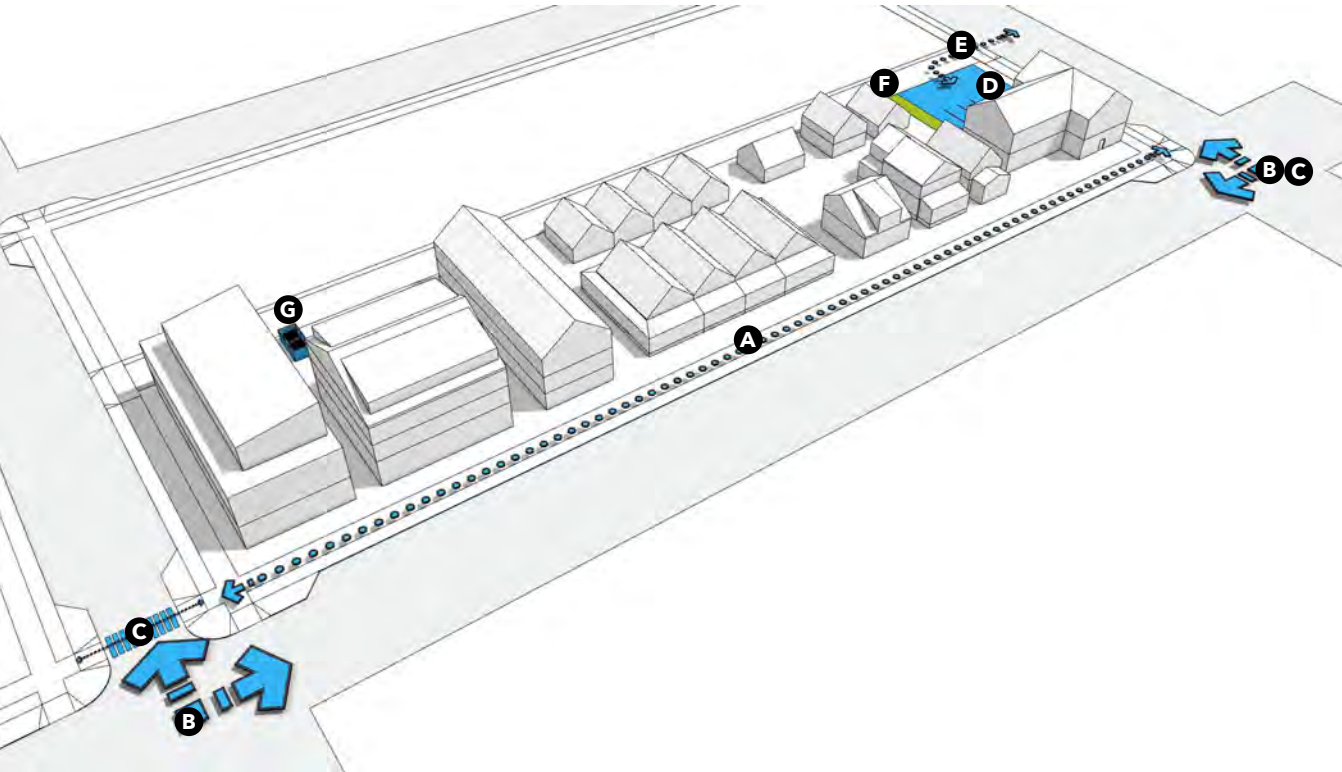
APPLICATION REQUIREMENTS

- 6.7.3. Applications must incorporate a site analysis that considers surrounding neighbourhood architecture and character and identifies existing:
- a) Buildings and structures;
  - b) Roads, sidewalks and trails; and
  - c) Significant environmental features.
- 6.7.4. Applications must include a "**Site Plan**" and "**Landscape Plan**" that addresses:
- a) Identification of planting areas and types of plantings for reduced water use, and following wildfire fuel reduction landscaping guidelines;
  - b) Irrigation of landscape areas;
  - c) On-site stormwater;
  - d) Proposed site grading;
  - e) Site access points (vehicle and pedestrian);
  - f) Vehicle & Bicycle parking;
  - g) Lighting strategy;
  - h) Identification of signage;
  - i) Public art; and
  - j) Outdoor amenity space elements



# 6.8 GENERAL FORM & CHARACTER GUIDELINES

The following Guidelines apply to 6.9 Downtown Mixed-Use DPA, 6.10 Highway Tourist Mixed-Use DPA, and 6.11 Multi-Unit Mixed-Use DPA.



## SITE DESIGN & LAYOUT

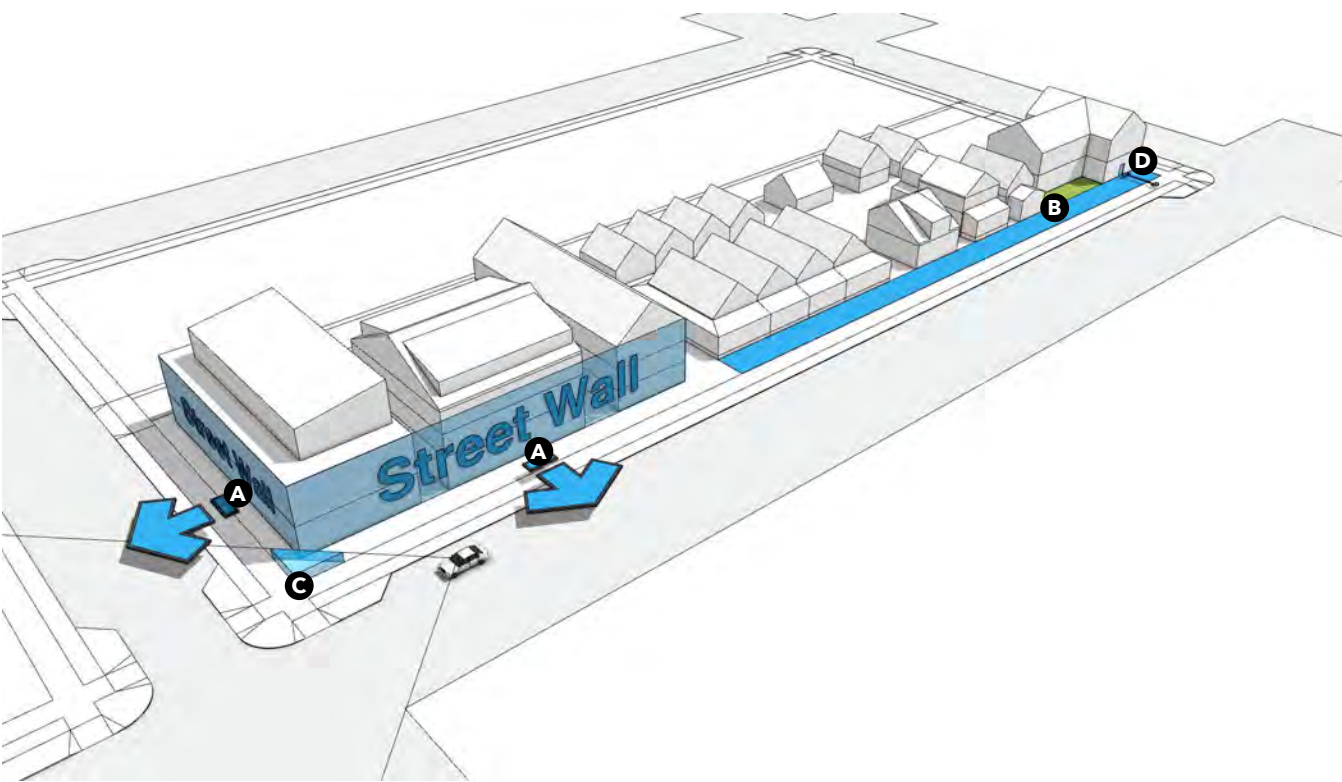
- 6.8.1. Limit block lengths and ensure that access to adjacent blocks (roads, sidewalks or pathways) is provided at least every 150m. **A**
- 6.8.2. New street and block layouts should attempt to create an interconnected road network with more than 1 road access to all properties. **B**
- 6.8.3. Where existing roads, trails and sidewalks about a development site, internal roads should attempt to link with existing roads to create a well-connected road, trail and sidewalk network. **C**

## SITE ACCESS & PARKING

- 6.8.4. Surface parking lots are discouraged in the front or side-street, and surface parking should be placed towards the back of sites and behind buildings to reduce the visual impact from public streets as much as possible. **D**
- 6.8.5. All on-site parking and loading access should be provided via an alley, if alley access exists. **E**
- 6.8.6. Parking areas must include snow storage and drainage areas. **F**

## LANDSCAPING & SCREENING

- 6.8.7. Centralized garbage and recycling bins must be wildlife proof and incorporated into buildings or screened from public streets. **G**



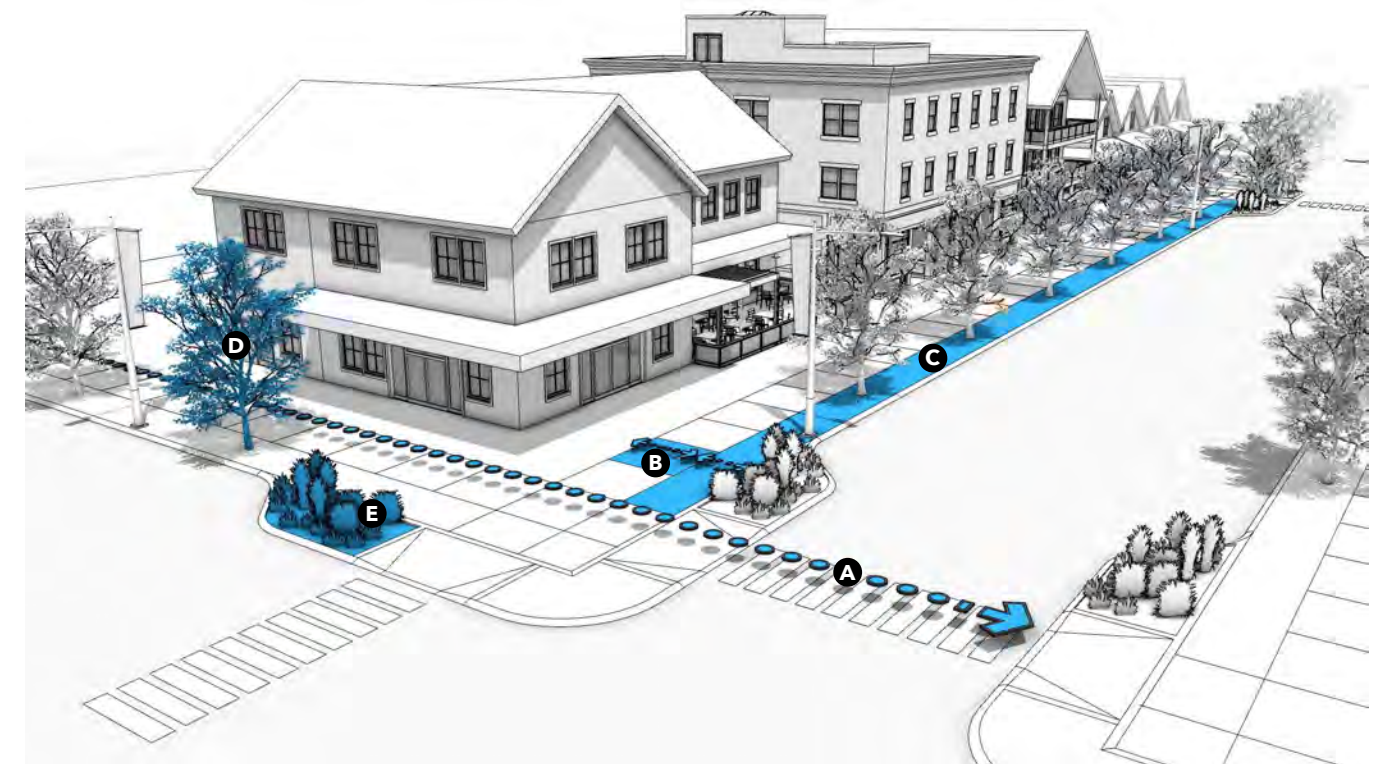
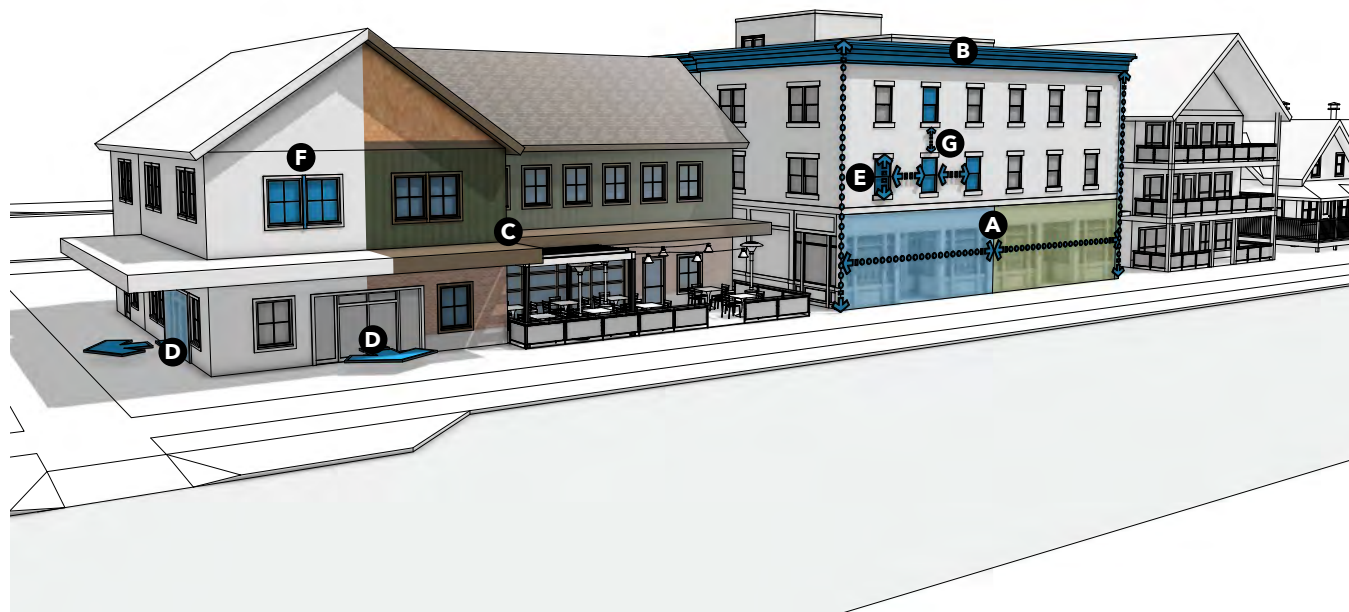
## BUILDING PLACEMENT & FORM

- 6.8.8. Site buildings so they are aligned parallel to the street edge, forming a "street wall" for the public realm that frames public streets and sidewalks. **A**
- 6.8.9. Setbacks should be sensitive to the existing neighbourhood, however, exceptions may be supported where the construction of pedestrian-friendly building elements, such as open front porches, are part of the development. **B**
- 6.8.10. Buildings on corner lots shall meet requirements for intersection sight triangles as regulated in the Village's Zoning Bylaw. **C**

## ACCESSIBILITY

- 6.8.11. All public spaces, commercial and public buildings should be designed to be accessible for those with mobility or sensory challenges. **D**





## BUILDING FAÇADE DETAILS

- 6.8.12.** Break up wide building facades with smaller storefront widths to enhance the pedestrian environment. **A**
- 6.8.13.** Incorporate appropriate detailing into roof design to better articulate the building. **B**
- 6.8.14.** Buildings should have a consistent, complementary colour scheme and incorporate a colour scheme. A minimum of three colours, textures or materials are required. **C**
- 6.8.15.** Building windows and entrances should be placed along the "street wall" with entrances that are clearly identifiable from a public street. **D**

- 6.8.16.** Windows along a street wall should have a similar orientation to the building form (i.e. vertical building = vertical windows, and horizontal building = horizontal windows, but not horizontal building = vertical windows, etc.). **E**
- 6.8.17.** Large windows are encouraged to be broken up into smaller glass areas using *Mullions* and *Muntins*. **F**
- 6.8.18.** Windows on the upper storeys along a street wall should be:
- a)** The same shape and size as each other;
  - b)** Placed in a symmetrical pattern; and **G**
  - c)** Reflect building structure elements established on the first storey (i.e. a window on upper storeys shouldn't be placed above a column on the first storey.)

## PUBLIC STREETS & LANDSCAPING

- 6.8.19.** Improve neighbourhood connectivity by constructing and enhancing sidewalks, trails, bike routes and vehicle connections in the area. **A**
- 6.8.20.** Develop sidewalks at a minimum of 1.5m wide, but ideally at 1.8m, with suitable amenity zones (boulevards or street tree planting areas). **B**
- 6.8.21.** Amenity zones should be sized to support multiple uses and designed for the survival of street trees (Generally a minimum of 2.0m wide for street trees, unless using a subsurface treatment/ installation that provides adequate space for tree roots). **C**

- 6.8.22.** Use landscaping and street trees to reduce the *Urban Heat Island Effect*, create more attractive, pedestrian-friendly, public streets and incorporate native plant materials or landscaping to reflect a local "sense of place." **D**
- 6.8.23.** Consider incorporating "Low-Impact Development (LID)" techniques into site planning, including techniques such as rain gardens, vegetated swales, separation of *Impervious Surfaces*, installing below-surface infiltration beds and tree box filters, and redirecting water from drainpipes into vegetated areas within the amenity zone. **E**



# 6.9 DOWNTOWN MIXED-USE DPA

## INTRODUCTION

The Downtown Mixed-Use Development Permit Area reflects the unique character, and walkable streets in Radium Hot Springs' Downtown. The DPA includes specific details on Building Placement & Form, Building Design, Building Details & Materials, the Public Realm, and Landscaping requirements for both private and public lands within the Downtown. The guidelines are general, rather than specific, and pick up on the existing form & character found in Radium Hot Springs' Downtown. This basic set of guidelines will ensure that new development in the Downtown will complement the existing character, and enhance the area through the incorporation of urban design best practices.

In addition to the policies in **6.8 General Form & Character Guidelines** the following policies apply in the Downtown Mixed-Use Development Permit Area as shown on **Map 12: Form & Character DPAs**.

## POLICIES

### BUILDING PLACEMENT & FORM

- 6.9.1.** Buildings should be placed towards the front of the lot with front and side setbacks of 0 metres unless a greater setback is required to provide for an entry alcove or outdoor patio.
- 6.9.2.** New buildings should establish a continuous street wall between two-three (2-3) storeys in height along Main St W and Main St E.
- 6.9.3.** Street-facing ground floor storey heights should be 4.5-6 metres to accommodate active commercial uses.
- 6.9.4.** Place active commercial uses at the street level with secondary (office / residential) uses located on upper floors or in the alley or side street.

### SERVICING

- 6.9.5.** Parking lots should be located along the rear of the lot.
- 6.9.6.** For corner sites, buildings should face both the main and side streets and be placed as close to the intersection as possible to anchor the corner.
- 6.9.7.** Parking areas located adjacent to public streets must submit a drainage plan and address the following requirements:
  - a)** A landscape buffer must separate parking areas from sidewalks and streets and be a minimum of 1.5 metres wide;
  - b)** The landscape buffer must include a vegetated visual buffer between public space and parking areas;
  - c)** Up to 20 consecutive parking spaces located side by side are permitted before a green / stormwater buffer is required to break up large paving areas; and
  - d)** Vegetated and stormwater buffers between adjacent parallel parking areas on separate lots is encouraged.
- 6.9.8.** Locate loading and service bays to the rear-facing side of the building.

### BUILDING DESIGN

- 6.9.9.** Buildings with first-storey commercial uses should support a high-quality pedestrian environment by creating smaller frontages, with individual storefronts not exceeding 6-10 metres.
- 6.9.10.** Developments should try to replicate existing traditional lot widths in the Downtown which is 15 metres, and buildings should use these dimensions as guidance for establishing the pattern of façade / storefront widths.

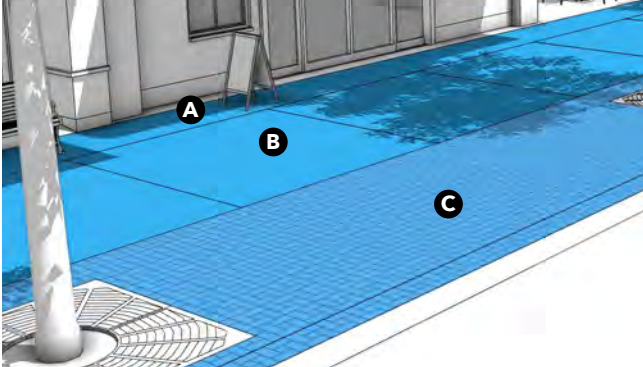
- 6.9.11.** Street-facing ground floors should have a minimum of 50 percent windows or doors with glass that give pedestrians a clear view into the ground floor use.
- 6.9.12.** Blank walls along streets should be no more than 4.0 metres in length divided by windows or doors with glass.
- 6.9.13.** Window signage must not cover more than 50% of each window or doors with glass area, except if required due to licensing requirements (e.g. Cannabis Retail).

### BUILDING DETAILS & MATERIALS

- 6.9.14.** Windows and doors along a street wall should have vertical proportions (i.e. taller than they are wide), and where windows and door openings along a street wall are wider than they are taller, they should be broken up with vertical elements such as *Mullions* and *Muntins*.
- 6.9.15.** The principal colour should be muted, while more vibrant colours used for architectural features, or trims.
- 6.9.16.** Building materials should consist of FireSmart, non-combustible siding such as fiber cement board, metal panels, or stone veneer, with any exposed wood limited to heavy timbers used as architectural accents and not as siding or cladding.

## NEIGHBOURHOOD, STREETS & THE PUBLIC REALM

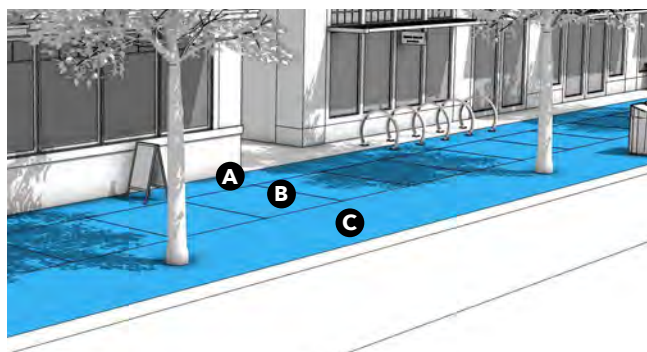
- 6.9.17.** Streets in the Downtown DPA should have sidewalks on both sides of the street.



**FIGURE 12: DOWNTOWN - MAIN STREET - SIDEWALK STANDARDS**

- 6.9.18.** As shown on **Figure 12: Downtown - Main Street - Sidewalk Standards** each sidewalk on Main Street should be comprised of:
  - a)** A frontage zone of 0.3 metres (minimum) to 1.0 metres between buildings and the *Pedestrian Through Zone*; **A**
  - b)** A *Pedestrian Through Zone* of 2.25 metres (minimum) to 3.0 metres, where no obstructions are permitted. **B**
  - c)** A hardscape *Amenity Zone* of 1.5 metres (minimum) to 3.0 metres between the street and *Pedestrian Through Zone*. **C**





**FIGURE 13: DOWNTOWN - ALL OTHER STREETS - SIDEWALK STANDARDS**

**6.9.19.** As shown on **Figure 13: Downtown - All Other Streets - Sidewalk Standards** each sidewalk on all other streets in the Downtown DPA should be comprised of:

- a) A frontage zone of 0.0 metre (minimum) to 1.0 metre between buildings and the **Pedestrian Through Zone**;
- b) A **Pedestrian Through Zone** of 1.5 metres (minimum) to 3.0 metres, where no obstructions are permitted.
- c) A landscaped **Amenity Zone** of 1.5 metres (minimum) to 3.0 metres between the street and **Pedestrian Through Zone**.

**A**

**B**

**C**

**6.9.20. Amenity Zones** should include

- a) Trees,
- b) Benches,
- c) Bike racks,
- d) Lighting, and
- e) Garbage and recycling bins.

**6.9.21.** Create intersection bump-outs at all intersections to shorten pedestrian crossing length, and integrate landscaping and potentially public art, while not restricting safe vehicular visibility at the intersection.

## PATIOS

**6.9.22.** All public spaces, commercial and public buildings should be designed to be accessible for those with mobility or sensory challenges.

**6.9.23.** Outdoor seating on private land, or managed by a private business on public land should:

- a) Be integrated with the entrance pathway to a building;
- b) Integrate seating into the entrance design using seating walls;
- c) Not be completely enclosed, but should be viewable from the adjacent sidewalks and streets; and
- d) Ground floor enclosed patios are permitted a maximum of 1.1 metres above the sidewalk.

**6.9.24.** Outdoor spaces, including patios, decks, porches, courtyards and plazas should incorporate interventions to make outdoor space more useable throughout the year. Effective strategies should be included in site and building design, including:

- a) Shelter from the rain, sun and wind (e.g. wind breaks);
- b) Outdoor heating;
- c) Lighting; and
- d) Air movement.

**6.9.25.** Outdoor patios should not be completely enclosed but should be viewable from the adjacent sidewalks and streets.

## CANOPIES & AWNINGS

**6.9.26.** Awnings should be used to create a comfortable sense of enclosure for pedestrians and provide weather protection by being placed:

- a) At a minimum height of 2.4 metres above the sidewalk;
- b) At a minimum projection of 1.8 metres from the building face;
- c) At a maximum 0.5 metres from the face of the curb; and
- d) Should not interfere with existing street trees or street lights (i.e. trees should not be removed or pruned to accommodate awnings).

## LANDSCAPING & SCREENING

**6.9.27.** Design for water infiltration and the use of green infrastructure in Downtown streetscaping and, where appropriate, use native plant species (first and foremost, low-maintenance plants able to survive urban conditions).

**6.9.28.** Plantings should include a diverse selection of climate adaptable, locally-viable street trees with 8-10 metres spacing to create a continuous urban tree canopy.

**6.9.29.** Pedestrian street lighting should be attached lower down in specified areas to highlight pedestrian focus, and have a higher quality aesthetic, with more detailing on poles and light heads, and include options for banners and other aesthetic features.

**6.9.30.** All parking areas for more than 4 vehicles shall be surfaced with asphalt, concrete, grasscrete, permeable or porous pavers or similar solid material, so as to provide a surface that is durable and dust-free and shall be so graded and drained as to properly dispose of all surface water into the storm sewer system, if available, or alternatively to approved landscaping areas or an approved on-site drainage system.

# 6.10 HIGHWAY TOURIST MIXED-USE DPA

## INTRODUCTION

The purpose of this DPA is to guide the redevelopment of the Highway Tourist Mixed-Use areas.

## POLICIES

**6.10.1.** In addition to the policies in **6.8 General Form & Character Guidelines**, the following policies apply in the "Highway Tourist Mixed-Use Development Permit Area" as shown on **Map 12: Form & Character DPAs**.

## SERVICING

**6.10.2.** Parking lots are encouraged to be located in the interior of lots with buildings facing the street and parking lot where lot size permits.

**6.10.3.** Notwithstanding **Policy 6.10.2** above, where lot size or topography doesn't permit placement of parking lots towards the back of the site, parking lots should be placed along the street with the following design considerations:

- a) A landscape buffer must separate parking areas from sidewalks and streets and be a minimum of 1.5 metres wide;
- b) The landscape buffer must include trees, shrubs, and grasses that provide a vegetated visual buffer between public space and parking areas;
- c) Up to 20 consecutive parking spaces located side by side are permitted before a green / stormwater buffer is required to break up large paving areas;



- d) Vegetated and stormwater buffers between adjacent parallel parking areas is encouraged; and
- e) Parking areas must prioritize a direct, buffered pedestrian route from the public street to the building.
- f) Parking should not be located on-street.

**6.10.4.** Locate loading and service bays to the rear-facing side of the building.

#### **BUILDING DESIGN**

**6.10.5.** Buildings with facades longer than 15m should use building articulation to break up long facades and make them more visually interesting.

**6.10.6.** Buildings with first-storey commercial uses should support a high-quality pedestrian environment by creating a smaller pattern of storefront / facade widths using smaller frontages, with individual storefront widths not exceeding 15m.

**6.10.7.** Blank walls along streets should be no more than 10 m in length divided by windows or doors with glass.

**6.10.8.** Street-facing ground floors should have a minimum of 50% windows and doors with glass that give pedestrians a clear view into the ground floor use.

**6.10.9.** Window signage must not cover more than 50% of each window area, except if required due to licensing requirements (e.g. Cannabis).

#### **BUILDING DETAILS & MATERIALS**

**6.10.10.** Windows and doors along a street wall should have vertical proportions (i.e. taller than they are wide), and where windows and door openings along a street wall are wider than they are tall, they should be broken up with vertical elements such as *Mullions* or *Muntins*, etc.

**6.10.11.** Awnings should be used to create a comfortable sense of enclosure for pedestrians and provide weather

protection by being placed:

- a) At a minimum height of 2.4m above the sidewalk;
- b) At a minimum projection of 1.8m from the building face;
- c) At a maximum 0.5m from the face of the curb; and
- d) Should not interfere with existing street trees or street lights (i.e. trees should not be removed or pruned to accommodate awnings).

**6.10.12.** Building materials should consist of FireSmart, non-combustible siding such as fiber cement board, metal panels, or stone veneer, with any exposed wood limited to heavy timbers used as architectural accents and not as siding or cladding.

#### **NEIGHBOURHOOD, STREETS & PUBLIC REALM**

**6.10.13.** Sidewalks or a multi-modal pathway should be on both sides of the street. Where a sidewalk or pathway on both sides is not possible, one side should be designed as a wider sidewalk or pathway and connected through traffic calming and crosswalks to the other side.

**6.10.14.** Multi-modal pathways on streets in the Highway Tourist DPA should be physically protected from vehicular traffic by fencing or protective landscaping.

**6.10.15.** *Amenity Zones* should include

- a) Trees,
- b) Benches,
- c) Bike racks,
- d) Lighting, and
- e) Garbage and recycling bins.

**6.10.16.** Where practical, create intersection bump-outs at all intersections to shorten pedestrian crossing length, and integrate landscaping and potentially public art, while not restricting safe vehicular visibility at the intersection.

#### **LANDSCAPING & SCREENING**

**6.10.17.** Design for water infiltration and the use of green infrastructure in Downtown streetscaping and, where appropriate, use native plant species (first and foremost, low-maintenance plants able to survive urban conditions).

**6.10.18.** Plant a diverse selection of climate adaptable, locally-viable street trees with 8-10m spacing to create a continuous urban tree canopy.

**6.10.19.** Pedestrian street lighting can be attached lower down in specified areas to highlight pedestrian focus, and have a higher quality aesthetic, with more

detailing on poles and light heads, and include options for banners and other aesthetic features.

**6.10.20.** All parking areas for more than 4 vehicles shall be surfaced with asphalt, concrete, grasscrete, permeable or porous pavers or similar solid material, so as to provide a surface that is durable and dust-free and shall be so graded and drained as to properly dispose of all surface water into the storm sewer system, if available, or alternatively to approved landscaping areas or an approved on-site drainage system.

## **6.11 MULTI-UNIT MIXED-USE DPA**

The purpose of this development permit area is to guide the form and character of multi-unit residential buildings, and *Mixed-Use Buildings* outside of the Downtown and Highway Tourist Area.

### **POLICIES**

#### **GENERAL**

**6.11.1.** In addition to the policies in **6.8 General Form & Character Guidelines** the following policies apply in the Multi-Unit Mixed-Use Development Permit Area.

#### **APPLICABILITY**

- 6.11.2.** The Multi-Unit Mixed-Use DPA applies to:
- a) All residential developments without a commercial component, and with five units or greater within the Village of Radium Hot Springs; and
  - b) All commercial or *Mixed-Use Buildings* in the Multi-Unit Mixed-Use DPA shown on **Map 12: Form & Character DPAs**.

#### **BUILDING PLACEMENT & FORM**

**6.11.3.** Multi-unit buildings should be sensitive to the surrounding residential neighbourhood in regards to scale with roof shapes mainly pitched to match existing neighbourhoods.

**6.11.4.** Site buildings so they are aligned parallel to the street edge, forming a "street wall" that frames public streets and sidewalks.

**6.11.5.** For corner sites, buildings should face both the main and side streets.

**6.11.6.** Setbacks should be sensitive to the existing neighbourhood, however, exceptions may be supported where the construction of pedestrian-friendly building elements, such as front porches, are part of the development.

**6.11.7.** Flat roofed buildings must incorporate architectural detailing such as cornices, to add visual interest.



## BUILDING DESIGN

- 6.11.8.** If being built in a neighbourhood with predominantly single-detached dwellings, multi-unit building should be no wider than 15 metres.
- 6.11.9.** Notwithstanding **Policy 6.11.8**, where building façades are proposed to be longer than 15 metres:
- a) Individual rowhouse units may be no wider than 10m; and
  - b) Apartment-style multi-unit buildings must use building articulation to break up facades longer than 15 metres.
- 6.11.10.** Building windows and main entrances should be placed along the "street wall."
- 6.11.11.** Garage access off main and side streets is limited to 1 per building, and can be no wider than 7 metres, or 40% of the total façade, whichever is the lesser.
- 6.11.12.** In ground-oriented residential buildings, front porches are encouraged to create more attractive, pedestrian-oriented buildings.

## BUILDING DETAILS & MATERIALS

- 6.11.13.** Large windows are encouraged to be broken up into smaller glass areas using **Mullions** and **Muntins**.
- 6.11.14.** Windows on the upper storeys along a street wall should be:
- 6.11.15.** Placed in a symmetrical pattern; and
  - 6.11.16.** Reflect building structure elements established on the first storey (i.e. a window on upper storeys shouldn't be placed above a column on the first storey.)
- 6.11.17.** Building materials should consist of FireSmart, non-combustible siding such as fiber cement board, metal panels, or stone veneer, with any exposed wood limited to heavy timbers used as architectural accents and not as siding or cladding.

## NEIGHBOURHOOD, STREETS & PUBLIC REALM

- 6.11.18.** Sidewalks or a multi-modal pathway should make up the **Pedestrian Through Zone**, and be on at least one side of the street.
- 6.11.19.** All street trees in this DPA should be:
- a) Placed in a structural soil trench that is a minimum of 1.5 metres wide;
  - b) Spaced suitably apart (recommended 10.0 metres separation);
  - c) Placed 6.0m or more from any intersection, and / or outside the "vision triangle at intersection" as defined in the Zoning and Subdivision Bylaw.
  - d) Be a leafy deciduous tree species that is round, in a shape that provides summer shade (v.s. columnar); and
  - e) Covered by a CSA-compliant tree grate, or located within a vegetated landscaped area, or protected stormwater feature.
- 6.11.20.** Sidewalks on streets in the Multi-Unit Mixed-Use DPA should be comprised of:
- a) A **Pedestrian Through Zone** of 1.5 metres (minimum), where no obstructions are permitted that, is buffered from heavy traffic along streets by an amenity zone where practical.
- 6.11.21.** A landscaped or hardscaped **Amenity Zone** should be 1.5 metres (minimum) between the street and **Pedestrian Through Zone**.
- 6.11.22.** **Amenity Zone** next to Multi-Unit Residential buildings should be landscaped and include street trees.
- 6.11.23.** **Amenity Zones** next to Neighbourhood **Mixed-Use Buildings** should be hardscaped and/or landscaped, and include street trees.

- 6.11.24.** Landscaped **Amenity Zones** should include vegetated surfaces, including grass and/or stormwater landscaping, and street trees.
- 6.11.25.** Hardscaped **Amenity Zones** should include
- a) Trees,
  - b) Benches,
  - c) Bike racks,
  - d) Lighting, and
  - e) Garbage and recycling bins.
- 6.11.26.** Create intersection bump-outs at all intersections to shorten pedestrian crossing length, and integrate landscaping and public art, while not restricting safe vehicular visibility at the intersection.

## 6.12 INDUSTRIAL DPA

Industrial areas are vital for creating jobs and contributing to the economic growth and tax base of a community. Industrial areas can have off-site impacts on the surrounding areas, such as noise, dust, and vibration. These impacts should be mitigated by the property owner or developer. The design and form of industrial developments are also important to create attractive, functional, and safe industrial areas.

The purpose of the Industrial DPA is to ensure that the industrial area maintains a character that is complimentary to the remainder of the Village.

## POLICIES

### GENERAL

- 6.12.1.** Buffer industrial areas from adjacent land uses with parks, open space, roads, or medium and light industrial land uses.

## LANDSCAPING & SCREENING

- 6.11.27.** Vegetative landscaping is preferred over hardscaping in yards around multi-unit residential buildings.
- 6.11.28.** Where practical, a combination of hardscaping and vegetative landscaping is preferred in yards around **Mixed-Use Buildings**.
- 6.11.29.** All parking areas for more than 4 vehicles shall be surfaced with asphalt, concrete, grasscrete, permeable or porous pavers or similar solid material, so as to provide a surface that is durable and dust-free and shall be so graded and drained as to properly dispose of all surface water into the storm sewer system, if available, or alternatively to approved landscaping areas or an approved on-site drainage system.
- 6.12.2.** Provide landscaping and screening to buffer industrial areas from adjacent land uses and to improve their visual appearance.
- 6.12.3.** Building colours must be muted and consist of natural colours, like earth tones, found in our natural setting.
- 6.12.4.** All surface parking areas must be enhanced with landscaping and provide adequate areas for snow storage and drainage.
- 6.12.5.** Mitigate off-site impacts of industrial development, such as noise, dust, and vibration.
- 6.12.6.** Lighting should be designed for security and safety while using **Dark Sky** compliant lighting to reduce light pollution wherever possible.



# SECTION 7

## 7. HOW WE GET IT ALL DONE

### 7.1 DYNAMIC DOCUMENT

#### INTRODUCTION

A Community Plan is a dynamic document that may be amended over time to best reflect community values and the policies needed to achieve the community vision. All amendments must be made through a Council bylaw approval process and should align with the Plan’s vision and guiding principles.

#### OBJECTIVES

- Objective 112:** Ensure the Plan is kept up to date with community values and needs.
- Objective 113:** Keep the Plan up to date with any provincial legislative changes.
- Objective 114:** Ensure the legislated process is followed for Plan amendments.
- Objective 115:** Ensure Village decisions are consistent with the direction of the Community Plan.

#### POLICIES

- 7.1.1.** This Plan shall be reviewed and updated, in accordance with legislated timelines, which at the time of writing, requires:
  - a)** Updating the Community Plan by December 31, 2025 to reflect the Interim Housing Needs Report, which has been completed within this document;
  - b)** Updating the Community Plan by December 31, 2030 to address changes to provincial legislation, including integration of updated housing needs reports; and
  - c)** Updating the Community Plan every five years thereafter.
- 7.1.2.** This Plan may be updated more frequently than required by provincial legislation as desired by the Village.
- 7.1.3.** This Plan shall be updated, in

accordance with legislated timelines, each time a new Housing Needs Report is completed for the Village.

- 7.1.4.** Village plans, policies and bylaws prepared following adoption of this Community Plan shall take direction

and be consistent with this Plan.

- 7.1.5.** An application for amendment to this Plan shall identify how the proposed amendment is consistent with the vision, goals and priorities of this Plan.

### 7.2 IMPLEMENTATION PRIORITIES

The Community Plan becomes impactful when the policies are translated into actions by the Village, businesses, developers and builders, and citizens. The following is an action plan that will help translate the Plan’s vision, goals

and priorities into on-the-ground actions in the Village.

The Village will use **Table 4: Implementation Actions** to guide the timing and resourcing of Community Plan implementation actions.

TABLE 4: IMPLEMENTATION ACTIONS

RECOMMENDATION	SOURCE	STATUS	TIMEFRAME
Monitor OCP progress & report to Council, staff & community annually	OCP Sec 7	As required	Annually & 5-year review
Housing Needs Report	Provincial Legislation & OCP	Updated in 2025	2025 (Interim update completed), 2028 and then every five years after.
Integrate Housing Needs Report with OCP using provincially mandated methodology	Provincial Legislation & OCP	Updated in 2025	2025 (Interim update), 2030 and then every five years. OCP must be updated within 2 years of a new HNR.
Integrate Village’s Zoning Bylaw to align with Housing Needs Report (every five years)	Provincial Legislation & OCP	Updated in 2025	2025 (Interim update), 2030 and then every five years
Update the Development Cost Charges	OCP Section 5	Requires Review	Immediately
Investigate opportunity for an Amenity Cost Charges (ACC) Bylaw	OCP Section 5	To be completed	As desired
Review the <a href="#">Active Transportation</a> Plan every 5 years	OCP Section 5	Created in 2022.	As desired



Keep the Accessibility Plan updated	OCP Section 5	Created in 2023.	As desired
Complete the Annual Drinking Water Report	OCP Section 5	To be completed	Annually
Establish minimum # of accessible parking stalls for multi-unit residential in Zoning Bylaw	OCP Section 4	Updated in 2025 Zoning Bylaw	Immediately
Continue to monitor Downtown parking	OCP Section 5	2024 Parking Count	As needed
Update the Business License Bylaw to reflect <i>Short-Term Rental</i> policies of the OCP	OCP Section 5	To be completed	Immediately
Keeping <i>Long-Term Rental</i> Housing Revitalization Tax Exemption Program Bylaw No. 497, 2023 updated and review its effectiveness regularly	OCP Section 5	To be reviewed	As needed
Promote the implementation of BC's Climate Action Charter	OCP Section 3	To be completed	Immediately
Track and Reduce GHG Emissions by 2030	OCP Section 3	To be completed	Immediately
Follow the recommendations within the <i>Wildfire Management Plan</i> and update every 5-10 years	OCP Section 3	To be completed	Immediately
Integrate <i>Dark Sky</i> compliant light requirements into the Subdivision and Development Servicing Bylaw	OCP Section 5	To be completed	1-3 years
Develop a "welcome guide" for newcomers to educate them on how to be "Wildsafe"	OCP Section 3	To be completed	Immediately

Partner with MOTT to investigate opportunities to improve the ecological connections of Sinclair Creek and Sinclair Canyon under Highway 95	OCP Section 3	To be completed	As desired
Develop an entrepreneur and permanent resident attraction marketing plan and funded marketing program	OCP Section 5	To be completed	As desired

## 7.3 MONITORING & REPORTING PROGRESS

The effectiveness of a Community Plan hinges a lot on tracking and monitoring progress towards the identified vision, goals and priorities of the Plan. A strong monitoring and reporting program will keep the Village moving towards its Plan vision.

**7.3.1.** Monitor and report on the outcomes of this Plan, including:

- a)** Annual reports to Council, staff and the community; and
- b)** Five-year reports to Council, staff and the community.

**7.3.2.** Village Council shall, with the assistance of Administration, review the Plan alongside the annual budget to determine spending priorities.

**7.3.3.** The Village should review the Plan every 5 years, during this review the Village should:

- a)** Identify opportunities for citizen engagement;
- b)** Collect and analyze data from the

previous five-years (e.g. housing, economic); and

- c)** Determine if a full or partial Plan update is required.

**7.3.4.** The Plan shall be updated every 10 years at the latest.

**7.3.5.** The Village may develop mapping software to track and monitor where and what types of development are occurring within the Village, including:

- a)** Number, location, and type of dwelling units built;
- b)** Amount and ratio of non-residential vs residential development and assessment; and
- c)** Other data and mapping metrics as desired.



## 7.4 DEVELOPMENT APPROVAL INFORMATION

The Village may require, in accordance with the *Local Government Act* (Section 485), additional information from an applicant in certain circumstances to ensure the development is suitable for the proposed location.

The entire Village has been designated as a Development Approval Information Area due to the following conditions:

1. The Village's growth is increasingly within existing neighbourhoods and information may be required to assess impacts on nearby and adjacent neighbourhoods.
2. The Village's landscape is varied and dynamic, with steep slopes, *Riparian Areas* and creeks, and information may be required to assess impacts on these landscapes and to protect people, property and infrastructure.

**Objective 116:** To ensure that appropriate studies and information are provided to the Village prior to development, in order for the Village to evaluate the impact of the development on the community.

**7.4.1.** The entire Village of Radium Hot Springs is designated as a Development Approval Information Area in order to guide and support new development that contributes to the Vision, goals and priorities of the Plan.

**7.4.2.** For the purpose of *Local Government Act Division 6 – Development Approval Information Requirements*, and in addition to those requirements in the Village's *Development Applications Procedures Bylaw*, development approval information may be required under any of the following circumstances:

- a) The development results in any of the following:
  - i) A change in Official Community

- Plan designation,
  - ii) A change in zoning,
  - iii) A requirement for a development permit, or
  - iv) A requirement for a temporary use permit.
- b) The development may result in impacts on:
    - i) Transportation patterns and traffic flow;
    - ii) Infrastructure including sewer, water, roads, drainage, street lighting, and other infrastructure;
    - iii) Public facilities such as schools and parks;
    - iv) Community services; or
    - v) The natural environment.
  - c) The development could result in other impacts that may be of concern to the Village.

**7.4.3.** The types of studies that may be required include, but are not limited to, the studies that address impacts on:

- a) Transportation and mobility systems,
- b) Infrastructure,
- c) Public facilities,
- d) Community services,
- e) Natural areas and the environment, and
- f) Studies that identify the impacts on other matters that are a concern to the Village.

# SECTION 8

## 8. DEFINITIONS & GLOSSARY

### 8.1 DEFINITIONS

<i>Accessory Dwelling Unit (ADU)</i>	A separate self-contained dwelling unit on a parcel that is smaller and subordinate to the principal dwelling unit and may be located within the principal dwelling unit or in a separate independent building on the property.
<i>Active Transportation</i>	Human-powered forms of moving from one place to another. It can take many forms and is continually evolving as new technologies emerge, but typically includes: walking, cycling, skateboarding, and other emerging modes of human powered transportation.
<i>Agricultural Land Commission (ALC)</i>	The independent administrative tribunal dedicated to preserving agricultural land and encouraging farming in British Columbia.
<i>Agricultural Land Reserve (ALR)</i>	The provincial designation in which agriculture land is officially designated and protected under provincial legislation. Farming is encouraged and non-agricultural uses are restricted.
<i>Amenity Cost Charges (ACC)</i>	A one-time charge levied to a property in accordance with the <i>Local Government Act</i> for the purpose of providing funds that assist the municipality to pay capital costs of constructing, altering, or expanding public amenities.



**Amenity Zone**

In street and sidewalk design, the “amenity zone” refers to a designated section of the public right-of-way, typically situated between the sidewalk and the street, that is designed to enhance the pedestrian environment. This zone may be either paved or landscaped and serves as a space for various amenities that improve comfort, accessibility, and aesthetics. Common features found in the amenity zone include street trees, bike racks, benches, garbage receptacles, lighting, and other urban furniture. The amenity zone plays a key role in fostering walkability, creating inviting public spaces, and supporting local businesses on commercial streets.

**Community Wildfire Risk Reduction Plan**

A plan developed with the focus of preventing and fighting fires to protect people, property and the forest resource. It also involves fire to attain forestry, wildlife and land-use objectives.

**Complete Streets**

Streets that are safe for all users, regardless of age, ability, income, race, ethnicity, or mode of travel.

**Conflict-of-Interest Disclosure Statement**

A statement declaring the individual signing the statement is free from a conflict-of-interest in performing duties and can perform them objectively. The declaration means the individual declares they do not have relatives, close associates or personal friends who have a financial or other interest in the outcome of the work being performed.

**Declaration of Competency**

The [Declaration of Competency](#) asks Qualified Professionals (QP) to consider their expertise, training and experience in relation to specific work they are being hired to do. Declarations of competency will provide a measure of assurance for government officials to feel confident in the information provided by QPs.

**Development Cost Charges (DCC)**

A one-time charge levied to a property in accordance with the [Local Government Act](#) for the purpose of providing funds that assist the municipality to pay capital costs of constructing, altering, or expanding facilities related only to the following local government services: roads (other than off-street parking), sewage, water, drainage, and parkland acquisition and improvement.

**Disturbance**

Human disturbance on the natural environment, such as grading, the removal of vegetation, or construction of structures.

**Duplex**

A single building with two separate dwelling units. The two dwelling units generally share a wall or floor between them.

**Environmental Site Assessment**

An environmental site assessment will help identify the existence and scope of soil or groundwater contamination (e.g., from petroleum, heavy metals, pesticides or herbicides), as well as the presence in buildings of products such as asbestos, lead paint or mould.

**Environmentally Sensitive Area(s) (ESA)**

An area(s) identified through reports, studies, plans, or government designation as having special environmental attributes that are worthy of preservation, conservation, protection, or special area.

**Fourplex**

A building containing four separate dwelling units with each unit having its own exterior entrance, bathroom, cooking facilities and service connections. The dwelling units can be side-by-side, stacked on top of each other, or a combination of both.

**Hazard Area**

An area(s) subject to natural events known to result in death or endangerment of the works of man, such as stream flooding, ground water, flash flooding, erosion or fluvial deposits, landslides, earthquakes, weak foundation soils, and other hazards unique to a local or regional area.

**Hazard Risk Assessment**

- An assessment of:
- Hazards (Sources of potential harm, or situations with a potential for causing harm, in terms of human injury; damage to health, property, the environment, and other things of value; or some combination);
  - Risk: (The likelihood that a hazard will occur, as well as the severity of possible impacts to health, property, the environment, or other things of value); and
  - Vulnerability (The people, property, infrastructure, industry, resources, or environments that are particularly exposed to adverse impact from a hazardous event).
  - The purpose of the Hazard Risk Assessment is to help a community make risk-based choices to address vulnerabilities, mitigate hazards and prepare for response to, and recovery from, a range of hazard events.

**Impervious Surfaces**

Those areas which prevent or impede the infiltration of stormwater into the soil as it entered in natural conditions prior to development. Common impervious areas include, but are not limited to, rooftops, sidewalks, walkways, patio areas, driveways, parking lots, storage areas, compacted gravel and soil surfaces, awnings and other fabric or plastic coverings.

**Invasive Species**

A species that is non-native (or alien) to the ecosystem under consideration; and, whose introduction causes or is likely to cause economic or environmental harm or harm to human health.

**Land Alteration**

Land alteration includes, but is not limited to, the stripping and grading including the removal of trees, vegetation and grading of the land for the purposes of development or access.

**Landscape Plan**

- A drawing or set of drawings that shows proposed landscaping improvements on a site, and can include:
- Identification of the type and location of existing and proposed plant species (such as number, spacing, size at time of planting, and planting details);
  - Protection of existing vegetation during and after construction;
  - Proposed treatment of hard and soft surfaces;
  - Proposed decorative features;
  - Grade changes;
  - Buffers and screening devices; and
  - Any other information that can reasonably be required in order that an informed decision can be made by the authority.

**Live-Work**

Areas within buildings that are jointly used for commercial/industrial use and residential purposes where residential use of the space is secondary to the primary work space.

Live-work units differ from a Mixed-Use Building, in that both the commercial/industrial space, and residential space are owned or occupied by the owner/tenant.



<b>Long-Term Rental</b>	A lease term for a residential dwelling or dwelling unit of at least 30 days.
<b>Low-Impact Development (LID)</b>	A stormwater management strategy that seeks to mitigate the impacts of increased runoff and stormwater pollution by managing runoff as close to its source as possible and through the use of natural methods.
<b>Major Development</b>	Land uses with higher impacts from density or uses (i.e., multi-unit residential (e.g. more than 4 units), industrial, commercial uses).
<b>Manufactured Home</b>	Any structure, whether ordinarily equipped with wheels or not, that is designed, constructed or manufactured to provide residential accommodation and to be moved from one place to another by being towed or carried.
<b>Master Plan</b>	A comprehensive long-range plan intended to guide growth and development of a community or region and one that includes analysis, recommendation, and proposals for the community's population, economy, housing, transportation, community facilities, and land use.
<b>Master Planned Parcels</b>	A parcel of land that has been comprehensively planned through the completion of a <a href="#">Master Plan</a> with supporting professional reports, plans, and drawings that address site analysis, technical reports, and servicing studies.
<b>Mixed-Use Buildings</b>	A building or groups of buildings under one ownership designed to encourage a diversity of compatible land uses, which include a mixture of two or more of the following uses: residential, office, retail, recreational, light industrial, and other miscellaneous uses.
<b>Mullions</b>	A mullion is a vertical or horizontal structural element that divides and supports the individual panes or sections of a window. It typically runs between two adjacent window units, providing both structural support and visual division. In addition to their functional role, mullions often contribute to the aesthetic character of a building by creating a grid-like pattern within the window.
<b>Muntins</b>	A muntin is a narrow bar or strip of material that separates and holds individual panes of glass within a window frame. Unlike a mullion, which is a larger structural divider between window units, muntins are typically smaller and divide a single window sash into multiple smaller sections, creating a grid pattern.
<b>Natural Assets</b>	The stock of natural resources or ecosystems that is relied upon, managed, or could be managed by a municipality, regional district, or other form of local government for the sustainable provision of one or more municipal services.
<b>Natural Boundary</b>	Has the same meaning as in the <a href="#">Land Act</a> , which, at the time of adoption of this Bylaw was: the visible high water mark of any lake, river, stream or other body of water where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark on the soil of the bed of the body of water a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself.

<b>Natural State</b>	The condition, status, or mode of existence that occurs normally or innately without human intervention or <a href="#">Land Alteration</a> . It can refer to something in its pure and raw form, like the natural state of a material or natural state of the environment, essentially untouched by civilization.
<b>Pedestrian Through Zone</b>	The pedestrian through zone is the clear, unobstructed area of a sidewalk or pedestrian path that provides a safe and comfortable route for walking. It is typically located in the center of the sidewalk, allowing pedestrians to move freely without encountering obstacles like street furniture, signage, or street trees. In a complete street design, the pedestrian through zone ensures efficient pedestrian movement while maintaining accessibility for all users, including those with mobility challenges. This zone is essential for promoting walkability and ensuring that sidewalks serve their primary function of providing safe passage for people on foot.
<b>Professional Engineer (PE)</b>	A professional who is registered and in good standing with the appropriate B.C. professional organization constituted under an Act. The PE must be acting under that association's code of ethics, and subject to the organization's disciplinary action.
<b>Purpose-Built Rental Housing</b>	Housing that is designed and built expressly as <a href="#">Long-Term Rental</a> accommodation. It may also include legal agreements that require the housing to stay as rental housing.
<b>Qualified Professional (QP)</b>	A professional who is registered and in good standing with the appropriate B.C. professional organization constituted under an Act. The QP must be acting under that association's code of ethics, and subject to the organization's disciplinary action.
<b>Qualified Environmental Professional (QEP)</b>	An applied environmental scientist or technologist who is registered and in good standing with an appropriate B.C. professional organization constituted under an Act. The QEP must be acting under that association's code of ethics, and subject to the organization's disciplinary action.
<b>Riparian Areas</b>	Riparian areas are the areas bordering on streams, lakes, and wetlands that link water to land. The blend of streambed, water, trees, shrubs and grasses directly influences and provides fish habitat.
<b>Short-Term Rental</b>	The commercial use of a dwelling unit or multiple dwelling units that are rented for less than 27 consecutive days at a time.
<b>Site Plan</b>	A drawing or set of drawings that can include: <ul style="list-style-type: none"> <li>• Existing site development features (e.g. buildings, structures, parking areas, pathways),</li> <li>• Existing natural areas, drainage patterns, waterbodies, wetlands, and other natural features</li> <li>• Proposed new buildings, structures, roads, pathways, parking and loading areas and other improvements;</li> <li>• Proposed impacts to natural areas, drainage patterns, waterbodies, wetlands; and</li> <li>• Any other information that can reasonably be required in order that an informed decision can be made by the authority.</li> </ul>



<i>Supportive Housing</i>	Housing with on-site supports for adults, seniors and people with disabilities at risk of, or experiencing, being unhoused.
<i>Transitional Housing</i>	Long-term housing (three months to three years typically) for individuals who require additional social and health supports and may be at-risk of being unhoused.
<i>Triplex</i>	A building with three individual dwelling units, each with its own entrance to outside, kitchen, bathroom(s), and living space.
<i>Urban Heat Island Effect</i>	The effect of higher air temperatures in urban areas because closely packed buildings, paved surfaces amplify, exhaust from buildings and vehicles and other factors trap heat more effectively than natural ecosystems and rural areas.

## 8.2 GLOSSARY

### GLOSSARY

<i>Agricultural Land Reserve (ALR)</i>	Means a provincial zone in which agriculture is recognized as the priority use. Farming is encouraged and non-agricultural uses are restricted.
<i>BC Energy Step Code</i>	The BC Energy Step Code is currently a provincial standard that provides an incremental and consistent approach to achieving more energy-efficient buildings that go beyond the requirements of the base BC Building Code. It does so by establishing a series of measurable, performance-based energy-efficiency requirements for construction that builders can choose to build to, and communities may voluntarily choose to adopt in bylaws and policies.
<i>Community Lifecycle Infrastructure Cost (CLIC)</i>	The community lifecycle infrastructure costing tool (CLIC Tool) can help local governments better understand the long-term cost implications of land use decisions. The tool integrates infrastructure lifecycle costs (development, maintenance, servicing and replacement) into land use planning and development scenarios. Specific applications of the tool have modelled how compact development is more cost-effective over time than lower density development.
<i>Critical Habitat for Endangered and Threatened Species</i>	Under the federal Species at Risk Act (SARA), critical habitat is the habitat that is necessary for the survival or recovery of listed extirpated, endangered, or threatened species, and that is identified as critical habitat in a recovery strategy or action plan.
<i>Crime Prevention through Environmental Design (CPTED)</i>	CPTED Canada is a not-for-profit, educational and networking organization dedicated to the promotion of CPTED principles. CPTED Canada developed from CPTED Ontario which was founded in 2001.  The Mission of CPTED is to reduce the fear and incidence of crime thereby working towards an improvement of the quality of life by promoting Crime Prevention Through Environmental Design (CPTED) throughout Canada.
<i>Dark Sky</i>	Darksky International is a nonprofit organization building awareness of the value of dark skies, and of the need for quality outdoor lighting.

### WEBLINK

<a href="#"><i>Agricultural Land Reserve</i></a>
<a href="#"><i>BC Step Code</i></a>
<a href="#"><i>CLIC Website</i></a>
<a href="#"><i>Endangered Species Act</i></a>
<a href="https://cptedcanada.com/"><i>https://cptedcanada.com/</i></a>
<a href="https://darksky.org/"><i>https://darksky.org/</i></a> <a href="https://rasc.ca/lpa/dark-sky-sites"><i>https://rasc.ca/lpa/dark-sky-sites</i></a>



GLOSSARY

<b>Federal Species at Risk Act (SARA)</b>	Is a Federal Act respecting the protection of wildlife species at risk in Canada. The purposes of the Species at Risk Act (SARA) are to prevent wildlife species in Canada from disappearing, to provide for the recovery of wildlife species that are extirpated (no longer exist in the wild in Canada), endangered, or threatened as a result of human activity, and to manage species of special concern to prevent them from becoming endangered or threatened.
<b>FireSmart</b>	Is a set of design principles to protect communities from the wildfires.
<b>Guide to Edge Planning</b>	Is a Provincial Document that provides guidance on developments adjacent to <a href="#">Agricultural Land Reserve (ALR)</a>
<b>Local Government Act</b>	Is a Provincial Government Act that empowers, guides, limits and affects local governments. The Act covers important authorities for both municipalities and regional districts, such as planning and land use powers and statutory requirements for administering elections.
<b>Ministry of Transportation &amp; Transit (MOTT)</b>	The Ministry of Transportation and Infrastructure plans and improves transportation networks, builds new infrastructure, provides transportation services, and implements transportation policies, to allow for the safe and efficient movement of people and goods.
<b>Provincial Blue Listed ecosystems and species</b>	Species and ecological communities are assigned to provincial lists depending on their Provincial Conservation Status. Blue-listed species include any native species or ecological community considered to be of Special Concern (formerly Vulnerable) in British Columbia. Species or ecological communities of Special Concern have characteristics that make them particularly sensitive or vulnerable to human activities or natural events. Blue-listed species or ecological communities are at risk, but are not Extirpated, Endangered or Threatened.

WEBLINK

<a href="#">Canada Species At Risk Act Website</a>
<a href="#">Firesmartbc.ca</a>
<a href="#">Guide to Edge Planning</a>
<a href="#">Local Government Act</a>
<a href="#">Ministry of Transportation &amp; Infrastructure</a>
<a href="#">Provincial Species at Risk</a>

GLOSSARY

<b>Provincial Red Listed Ecosystems and species</b>	Species and ecological communities are assigned to provincial lists depending on their Provincial Conservation Status. Red-listed species include any native species or ecological communities that have, or are candidates for, Extirpated, Endangered, or Threatened status in British Columbia. Extirpated species no longer exist in the wild in British Columbia, but do occur elsewhere. Endangered species and ecological communities are facing imminent extirpation or extinction. Threatened species and ecological communities are likely to become endangered if limiting factors are not reversed. Not all Red-listed species or ecological communities will necessarily become formally designated. Placing species or ecological communities on these lists flags them as being at risk and requiring investigation
<b>Recreation Sites and Trails BC</b>	Recreation Sites and Trails B.C. (RSTBC) provides public recreation opportunities by developing, maintaining and managing a network of recreation sites and recreation trails throughout the province.
<b>Riparian Areas Protection Regulation</b>	The purpose of the regulation is to protect the many and varied features, functions and conditions that are vital for maintaining stream health and productivity, including: <ul style="list-style-type: none"><li>• Sources of large organic debris, such as fallen trees and tree roots</li><li>• Areas for stream channel migration</li><li>• Vegetative cover to help moderate water temperature</li><li>• Provision of food, nutrients and organic matter to the stream</li><li>• Stream bank stabilization</li><li>• Buffers for streams from excessive silt and surface run-off pollution</li></ul>
<b>Trans-Canada Trail</b>	As the longest trail network in the world, the Trans Canada Trail connects Canadians and visitors to nature and to one another, from coast to coast to coast, through accessible and inclusive outdoor activities. Through collaboration and partnerships, we build, maintain and steward Canada's national trail, a unique system of connected urban and rural trails.
<b>WildSafeBC</b>	WildSafeBC is the provincial leader in preventing conflict with wildlife through collaboration, education and community solutions.

WEBLINK

<a href="#">Provincial Species at Risk</a>
<a href="https://www2.gov.bc.ca/gov/content/sports-culture/recreation/camping-hiking/sites-trails">https://www2.gov.bc.ca/gov/content/sports-culture/recreation/camping-hiking/sites-trails</a>
<a href="https://canlii.ca/t/562c5">https://canlii.ca/t/562c5</a>
<a href="#">Trans-Canada Trail Website</a>
<a href="https://wildsafebc.com/">https://wildsafebc.com/</a>



# APPENDIX 1. MASTER PLANS

## MASTER PLAN SUBMISSION REQUIREMENTS

### WHAT IS A MASTER PLAN?

A Master Plan is a comprehensive plan for a subdivision or a large development (e.g. multi-unit residential building or commercial development) that may include supporting studies and reports. A master plan should be a single document that combines all relevant maps, drawings, studies, and reports into one comprehensive package for review by the municipality as part of a planning or development application (e.g. rezoning, subdivision, development permit).

A Master Plan Table of Contents should follow this format:

1. Project Rationale (e.g. text and drawings describing the proposed development)
2. Support Studies and Technical Reports as Appendices

### WHEN IS A MASTER PLAN REQUIRED?

The Village's new Official Community Plan (OCP) requires submission of a master plan for several types of developments and subdivisions. In general, larger developments and multi-lot subdivisions require submission of a master plan. Please consult the OCP for whether your development requires a master plan.

### WHAT IS REQUIRED?

The following items are required to be submitted as part of a Master Plan:

1. Site plan drawing to scale identifying:
  - a. Location of legal property lines and setbacks from property lines of any existing or proposed buildings or structures;
  - b. Road access and parking area(s) and estimated number of parking stalls;
  - c. Landscaping / sidewalks / internal pathways;
  - d. Location of adjacent roads / pathways / sidewalks / buildings / structures;
  - e. Drainage patterns;
  - f. Slopes (if applicable);
  - g. Proposed subdivision lines (if applicable); and
  - h. Features that will be kept (e.g. buildings, trees, shrubs, natural areas).
2. Project Rationale Report describing the development:
  - a. Other items that may be required as part of a development, re-zoning, or subdivision application;
  - b. Elevation drawings (optional or may be required depending on the complexity of the development); and
  - c. Development Permit Application, if the site is within a Development Permit Area (see OCP for details).
3. Technical Reports or Studies (as required by the Village) as Appendices, may include, but not limited to:
  - a. Drainage / stormwater management report;
  - b. Geotechnical Study;
  - c. Historical Resources Review;
  - d. Biophysical / Environmental / Wetlands Study or Inventory;
  - e. Environmental Site Assessment (to evaluate potential contamination of a site);
  - f. Servicing Strategy or Study (e.g. water, sewer/septic); and
  - g. Transportation Study (access, egress, traffic management, anticipated traffic volumes).

## MASTER PLAN EXAMPLES



Example of a Site Plan

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Example of a Master Plan Table of Contents

For more information contact the Village:

4836 Radium Blvd, PO Box 340  
Radium Hot Springs BC, V0A 1M0  
Email: [village@radiumhotsprings.ca](mailto:village@radiumhotsprings.ca)  
Phone: 250 347-6455



# APPENDIX 2. LANDSCAPE PLANS

## LANDSCAPE PLAN SUBMISSION REQUIREMENTS

### WHAT IS A LANDSCAPE PLAN?

A Landscape Plan is a map or drawing showing the location and types of landscaping and related features proposed for a development on a particular site.

### WHEN IS A LANDSCAPE PLAN REQUIRED?

The Village’s new Official Community Plan (OCP) requires submission of a landscape plan for several types of developments, especially those within a Development Permit Area (DPA). Please consult the OCP for whether your development requires a master plan.

### WHAT IS REQUIRED?

The following items are required to be submitted as part of a Master Plan:

4. Site plan drawing to scale identifying:

- a. Location of legal property lines and setbacks from property lines of any existing or proposed buildings or structures;
- b. Road access and parking area(s) and estimated number of parking stalls;
- c. Proposed landscaping features, plantings and types of plants, garbage/recycling bin locations;

- d. Existing drainage patterns, slopes and any water features;
- e. Proposed subdivision lines (if applicable);
- f. Features that will be kept or rehabilitated (e.g. natural areas, vegetation, trees, shrubs, buildings);
- g. Lighting features and strategy considering “dark skies” design elements;
- h. Pedestrian and cycling features – walkways, sidewalks, trails, pathways, and outdoor seating areas; and
- i. Fencing / screening location and details (e.g. fence height and materials/design proposed).

5. Other items that may be required as part of a development, re-zoning, or subdivision application:

- a. Master Plan (as per OCP)
- b. Development Permit Application (required if within a Development Permit Area as per OCP); and
- c. Supporting Technical Reports (e.g. drainage, geotechnical, historical resources, biophysical, transportation).

### EXAMPLE OF A LANDSCAPE PLAN



Example of a Landscape Plan

For more information contact the Village:

4836 Radium Blvd, PO Box 340  
Radium Hot Springs BC, V0A 1M0  
Email: [village@radiumhotsprings.ca](mailto:village@radiumhotsprings.ca)  
Phone: 250 347-6455